



# City of Tigard

COMMUNITY DEVELOPMENT DEPARTMENT

## Master Land Use Application

RECEIVED

OCT 26 2015

CITY OF TIGARD  
PLANNING/ENGINEERING

### LAND USE APPLICATION TYPE

- Adjustment/Variance (II)
- Comprehensive Plan Amendment (IV)
- Conditional Use (III)
- Development Code Amendment (IV)
- Downtown Design Review (II, III)
- Historic Overlay (II or III)
- Home Occupation (II)
- Minor Land Partition (II)
- Planned Development (III)
- Sensitive Land Review (II or III)
- Site Development Review (II)
- Subdivision (II or III)
- Zone Change (III)
- Zone Change Annexation (IV) #3294

NOTE: For required submittal elements, please refer to your pre-application conference notes.

### PROPOSAL SUMMARY (Brief description)

Three parcels comprising 2.77 acres will be annexed into City of Tigard from unincorporated Washington County with a zone change to A-7 Medium Density Residential. After annexation, the 2.77 acres will be developed as a 16-lot subdivision.

### PROPERTY INFORMATION (where proposed activity will occur)

Location (address if available): 14900 and 14920 SW 133rd Ave, SW 132 Terr  
 Tax maps and tax lot #: 25109AC 1100, 1200, 1300  
 Total site size: 2.77 acres Zoning classification: A-7

### FOR STAFF USE ONLY

Case No.: ZCA 2015-00002  
 Related Case No.(s): \_\_\_\_\_  
 Application Fee: \$3294  
 Application accepted:  
 By: LS Date: 10/26/15  
 Application determined complete:  
 By: \_\_\_\_\_ Date: \_\_\_\_\_

I:\CURPLN\Masters\Land Use Applications Rev. 11/25/2014

### APPLICANT INFORMATION

Name: Richard A. Franzke Trust, Mark Franzke  
 Mailing address: 5620 SW Riverside #1 Trustee  
 City/state: Portland, OR Zip: 97239  
 Phone number: \_\_\_\_\_  
 Primary contact name: \_\_\_\_\_  
 Phone number: \_\_\_\_\_  
 Email: mark.franzke@gmail.com

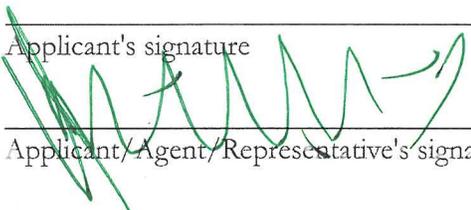
**PROPERTY OWNER/DEED HOLDER INFORMATION** (Attach list if more than one)

Name: Richard A. Franzke Trust - Mark A. Franzke, Trustee  
 Mailing address: 5620 SW Riverside Ln. #1  
 City/state: Portland, OR Zip: 97239  
 Phone: \_\_\_\_\_ Email: mark.franzke@gmail.com

\* When the owner and the applicant are different people, the applicant must be the purchaser of record or a lessee in possession with written authorization from the owner or an agent of the owner. The owners must sign this application in the space provided on the back of this form or submit a written authorization with this application.

**THE APPLICANT(S) SHALL CERTIFY THAT:**

- If the application is granted, the applicant shall exercise the rights granted in accordance with the terms and subject to all the conditions and limitations of the approval.
- All the above statements and the statements in the plot plan, attachments, and exhibits transmitted herewith, are true; and the applicants so acknowledge that any permit issued, based on this application, may be revoked if it is found that any such statements are false.
- The applicant has read the entire contents of the application, including the policies and criteria, and understands the requirements for approving or denying the application(s).

Applicant's signature 	<u>Mark A. Franzke</u> Print name	_____ Date
Applicant/Agent/Representative's signature	<u>Anne Marie Skimer</u> Print name	<u>10-20-15</u> Date
Applicant/Agent/Representative's signature	_____ Print name	_____ Date

**SIGNATURES of each owner of the subject property required**

Owner's signature	<u>Mark A. Franzke</u> Print name	_____ Date
Owner's signature	<u>Jean M. Foster</u> Print name	_____ Date
Owner's signature	<u>David L. Birie</u> Print name	_____ Date
Owner's signature	<u>Mary Louise Birie</u> Print name	_____ Date

**MASTER LAND USE APPLICATION**

PROPERTY OWNER/DEED HOLDER INFORMATION

Name: Richard A. Franzke Trust – Jean M. Foster, Trustee

Mailing address: 126 LaCerra Dr.

City/state: Rancho Mirage, CA Zip: 92270

Phone: 503-467-9305 Email: Jeanfoster84@gmail.com

Name: David L. Ririe and Mary Louise Ririe, Trustees Ririe Living Trust

Mailing address: 14920 SW 133<sup>rd</sup> Avenue

City/state: Tigard, OR

Phone: \_\_\_\_\_ Email: \_\_\_\_\_

PROPERTY OWNER/DEED HOLDER INFORMATION (Attach list if more than one)

Name: Richard A. Franzke Trust - Mark A. Franzke, Trustee  
Mailing address: 5620 SW RiverSide Ln. #1  
City/state: Portland, OR Zip: 97239  
Phone: \_\_\_\_\_ Email: mark.franzke@gmail.com

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Mark A. Franzke  
Applicant's signature

Mark A. Franzke  
Print name

10/07/2015  
Date

\_\_\_\_\_  
Applicant/Agent/Representative's signature

\_\_\_\_\_  
Print name

\_\_\_\_\_  
Date

\_\_\_\_\_  
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Owner's signature

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Print name

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Date

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_____	_____	_____
Applicant/Agent/Representative's signature	Print name	Date

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Owner's signature	Print name	Date
<u>Jean M. Foster</u>	<u>Jean M. Foster</u>	<u>10/7/15</u>
Owner's signature	Print name	Date
_____	<u>David L. Pirie</u>	_____
Owner's signature	Print name	Date
_____	<u>Mary Louise Pirie</u>	_____
Owner's signature	Print name	Date

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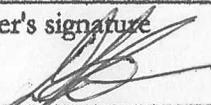
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Applicant/Agent/Representative's signature	Print name	Date
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Owner's signature	Print name	Date
_____	<u>Jean M. Foster</u>	_____
Owner's signature	Print name	Date
	<u>David L. Pirie</u>	<u>10/13/15</u>
Owner's signature	Print name	Date
<u>Mary Louise Pirie</u>	<u>Mary Louise Pirie</u>	<u>10/13/15</u>
Owner's signature	Print name	Date

MASTER LAND USE APPLICATION

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OCT 26 2015  
CITY OF TIGARD  
PLANNING/ENGINEERING

**ZONE CHANGE ANNEXATION  
TAX LOTS 2S1 09AC 1100, 1200, 1300  
14980 and 14920 SW 133<sup>rd</sup> AVE and 0 SW 132<sup>nd</sup> TERR**

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**Warranty Deed to Tax Lots 1200 and 1300**  
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*Tualatin Valley Fire & Rescue*

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133<sup>rd</sup> Avenue

**EMERIO**  
*Design*

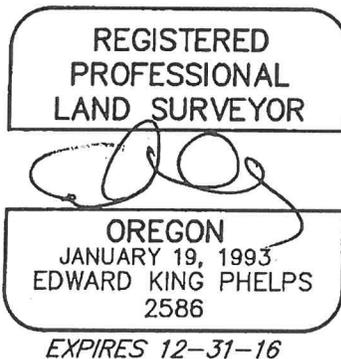
December 8, 2015

## EXHIBIT A SHEET 1 OF 2

Tracts of land being those tracts described in Document Numbers 2000-028586 and 2004-064783, Washington County Deed Records, situated in the Northeast  $\frac{1}{4}$  of Section 9, Township 2 South, Range 1 West, W.M., Washington County, Oregon; being more particularly described as follows:

Beginning at the southeast corner of that tract described in Document Number 2015-042090, said deed records; thence along the westerly right of way line of SW 132<sup>nd</sup> Avenue,  $S01^{\circ}15'16''W$ , 273.82 feet; thence along the northerly line extended of the plat of "Sequoia Heights",  $N88^{\circ}02'07''W$ , 465.66 feet to the centerline of SW 133<sup>rd</sup> Avenue; thence along the centerline of SW 133<sup>rd</sup> Avenue,  $N01^{\circ}32'48''E$ , 274.28 feet; thence leaving said centerline and along the southerly line of that tract described in said Document Number 2015-042090,  $S87^{\circ}58'37''E$ , 464.27 feet to the Point of Beginning.

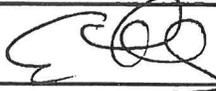
Containing 127,415 square feet.



NE 1/4 Section 9, T 2 S, R 1 W, W. M. Washington  
 County, Oregon  
 City of Tigard

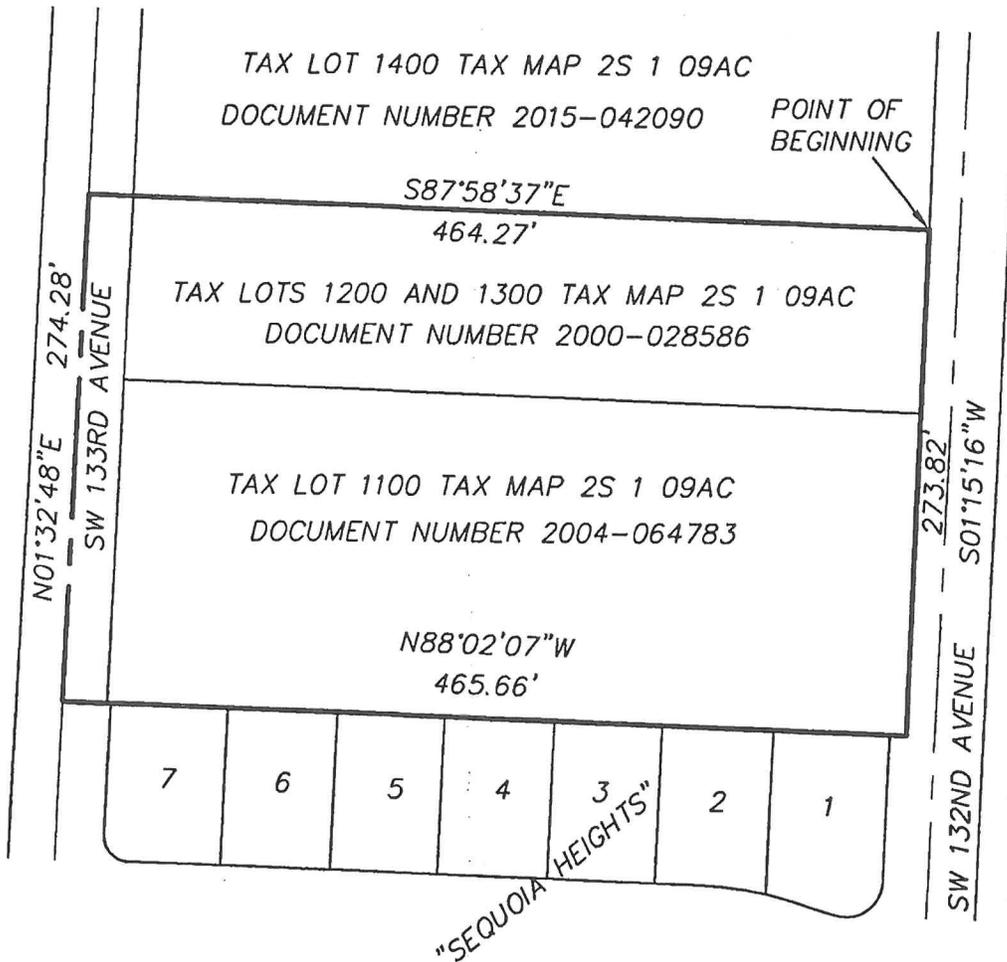
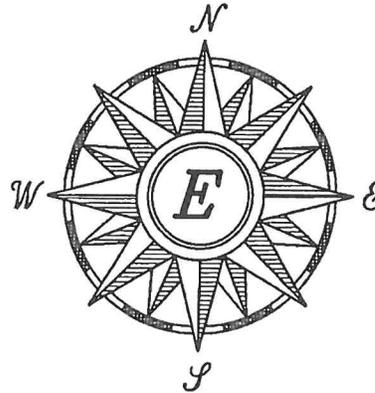
EXHIBIT A  
 SHEET 2 OF 2

REGISTERED  
 PROFESSIONAL  
 LAND SURVEYOR



OREGON  
 JANUARY 19, 1993  
 EDWARD KING PHELPS  
 2586

EXPIRES 12-31-16



**EMERIO**  
 Design

6107 SW MURRAY BLVD. SUITE 147  
 BEAVERTON, OREGON 97008  
 PH: (503) 515-5528

**ANNEXATION  
 LEGAL DESCRIPTION**

SAGE BUILT HOMES  
 PORTLAND, OREGON

PROJECT NO. 152-011  
 DATE: 10-2-2015  
 BY: EKP  
 SCALE: 1"=100'  
 SHEET NO. 1 OF 1

mapcheck 3.txt

-----  
Parcel name: 3

North: 644337.2357	East : 7605253.4354
Line Course: S 01-15-16 W	Length: 273.82
North: 644063.4813	East : 7605247.4408
Line Course: N 88-02-07 W	Length: 465.66
North: 644079.4460	East : 7604782.0545
Line Course: N 01-32-48 E	Length: 274.28
North: 644353.6261	East : 7604789.4577
Line Course: S 87-58-37 E	Length: 464.27
North: 644337.2366	East : 7605253.4383

Perimeter: 1478.02 Area: 127,415 sq. ft. 2.93 acres

Mapcheck Closure - (Uses listed courses, radii, and deltas)  
Error Closure: 0.0031 Course: N 71-44-33 E  
Error North: 0.00096 East : 0.00292  
Precision 1: 476,783.87



Clean Water Services File Number

15-003106

### Sensitive Area Pre-Screening Site Assessment

1. Jurisdiction: ~~Tigard~~ Washington County

2. Property Information (example 1S234AB01400)

Tax lot ID(s): 2S109AC01100, 2S109AC01200, 2S109AC01300  
Site Address:  
City, State, Zip:  
Nearest Cross Street: SW Bull Mountain and SW 132nd Terrace

3. Owner Information

Name: Richard Franzke  
Company:  
Address: 14920 SW 133rd Avenue  
City, State, Zip: Tigard, OR 97224  
Phone/Fax:  
E-Mail:

4. Development Activity (check all that apply)

- Addition to Single Family Residence (rooms, deck, garage)
- Lot Line Adjustment       Minor Land Partition
- Residential Condominium       Commercial Condominium
- Residential Subdivision       Commercial Subdivision
- Single Lot Commercial       Multi Lot Commercial
- Other: Annex into Tigard; then develop 16-lot subd

5. Applicant Information

Name: AnneMarie Skinner  
Company: Emerio Design  
Address: 8285 SW Nimbus Ave., Ste. 180  
City, State, Zip: Beaverton, OR 97008  
Phone/Fax: 971-330-1129  
E-Mail: annemarie@emeriodesign.com

6. Will the project involve any off-site work?  Yes  No  Unknown

Location and description of off-site work

7. Additional comments or information that may be needed to understand your project

I am working on the Annexation Narrative and need Service Provider comments from Clean Water.

This application does NOT replace Grading and Erosion Control Permits, Connection Permits, Building Permits, Site Development Permits, DEQ 1200-C Permit or other permits as issued by the Department of Environmental Quality, Department of State Lands and/or Department of the Army COE. All required permits and approvals must be obtained and completed under applicable local, state, and federal law.

By signing this form, the Owner or Owner's authorized agent or representative, acknowledges and agrees that employees of Clean Water Services have authority to enter the project site at all reasonable times for the purpose of inspecting project site conditions and gathering information related to the project site. I certify that I am familiar with the information contained in this document, and to the best of my knowledge and belief, this information is true, complete, and accurate.

Print/Type Name AnneMarie Skinner

Print/Type Title Planning Director

ONLINE SUBMITTAL

Date 9/24/2015

#### FOR DISTRICT USE ONLY

Sensitive areas potentially exist on site or within 200' of the site. THE APPLICANT MUST PERFORM A SITE ASSESSMENT PRIOR TO ISSUANCE OF A SERVICE PROVIDER LETTER. If Sensitive Areas exist on the site or within 200 feet on adjacent properties, a Natural Resources Assessment Report may also be required.

Based on review of the submitted materials and best available information Sensitive areas do not appear to exist on site or within 200' of the site. This Sensitive Area Pre-Screening Site Assessment does NOT eliminate the need to evaluate and protect water quality sensitive areas if they are subsequently discovered. This document will serve as your Service Provider letter as required by Resolution and Order 07-20, Section 3.02.1. All required permits and approvals must be obtained and completed under applicable local, State, and federal law.

Based on review of the submitted materials and best available information the above referenced project will not significantly impact the existing or potentially sensitive area(s) found near the site. This Sensitive Area Pre-Screening Site Assessment does NOT eliminate the need to evaluate and protect additional water quality sensitive areas if they are subsequently discovered. This document will serve as your Service Provider letter as required by Resolution and Order 07-20, Section 3.02.1. All required permits and approvals must be obtained and completed under applicable local, state and federal law.

This Service Provider Letter is not valid unless \_\_\_\_\_ CWS approved site plan(s) are attached.

The proposed activity does not meet the definition of development or the lot was platted after 9/9/95 ORS 92.040(2). NO SITE ASSESSMENT OR SERVICE PROVIDER LETTER IS REQUIRED.

Reviewed by Chuck Marshall

Date 9/28/15



**WASHINGTON COUNTY**  
 Dept. of Land Use & Transportation  
 Planning and Development Services Division  
 Current Planning Section  
 155 N. 1<sup>st</sup> Avenue, #350-13  
 Hillsboro, OR 97124  
 Ph. (503) 846-8761 Fax (503) 846-2908  
 http://www.co.washington.or.us

**Request For Statement Of Service Availability (Service Provider Letter)**

- WATER DISTRICT: \_\_\_\_\_
- FIRE DISTRICT: TVF + R
- CITY OF: \_\_\_\_\_
- CLEAN WATER SERVICES (Sanitary Sewer)

Additionally, you'll need our separate, individual request forms titled:

- ◆ Clean Water Services (Surface Water Mgmt.)
- ◆ Tri-Met
- ◆ School
- ◆ Sheriff / Police
- ◆ Tualatin Hills Park & Recreation District

PROPOSED PROJECT NAME: 133<sup>rd</sup> Ave Subdivision

PROPOSED DEVELOPMENT ACTION: (DEVELOPMENT REVIEW, SUBDIVISION, MINOR PARTITION, SPECIAL USE)

Annexation into City of Tigard and 16-lot Subdivision  
 EXISTING USE: 2 HOUSES PROPOSED USE: 16-lot Subdivision

IF RESIDENTIAL:

NO. OF DWELLING UNITS: 16  
 SINGLE FAM. 16 MULTI-FAM. 0

IF INDUSTRIAL/COMMERCIAL:

TYPE OF USE: \_\_\_\_\_  
 NO. OF SQ. FT. (GROSS FLOOR AREA) \_\_\_\_\_

IF INSTITUTIONAL:

NO. SQ. FT. \_\_\_\_\_  
 NO. STUDENTS/EMPLOYEES/MEMBERS: \_\_\_\_\_

\*\*\*\*\*ATTENTION SERVICE PROVIDER\*\*\*\*\*

**THIS IS NOT A FIRE DISTRICT APPROVAL**

The Fire District has personnel and equipment in the area that can respond to an emergency incident and implement such actions as may be necessary for fire and or rescue operations.

Drawings-Plans illustrating access and firefighting access and water supply requirements consistent with fire code standards shall be submitted to Washington County for their approval.

See approved-stamped plans for additional information.

*Drew DeBois*

Date: 09/29/15

Drew DeBois  
 Deputy Fire Marshal/CFI  
 Tualatin Valley Fire & Rescue  
 20665 SW Blanton Street  
 Aloha, Oregon 97078

PRE-APPLICATION DATE: 8-17-15

Service Provider: PLEASE RETURN THIS FORM TO:  
 APPLICANT:

COMPANY: E-MERIG DESIGN  
 CONTACT: ANNE MARIE SKIMER  
 ADDRESS: ANNE.MARIE@EMERIGDESIGN.COM  
 PHONE: 971-330-1129

OWNER(S):

NAME: Richard Franke / David Airie  
 ADDRESS: 14900 / 14900 SW 133  
Tigard, OR 97024  
 PHONE: \_\_\_\_\_

Property Desc.: Tax Map(s): 351 09AC Lot Number(s): 1100, 1200, 1300

Site Size: 2.77 acres

Site Address: 14900 and 14900 SW 133; or SW 132  
 Nearest cross street (or directions to site):  
133<sup>rd</sup> & Ball Mountain



Application and Narrative  
for  
**14980, 14920 SW 133<sup>rd</sup> Avenue/0 SW 132<sup>nd</sup> Terrace**  
Zone Change Annexation  
for  
Richard Franzke and David Ririe  
Emerio Design # 152-011

**Applicant/Property Owner:**     **Richard A. Franzke Trust**  
Mark R. Franzke and Jean M. Foster, Trustees  
14980 SW 133<sup>rd</sup> Ave.  
Tigard, OR 97224

**Ririe Living Trust**  
David L. Ririe and Mary Louise Ririe, Trustees  
14920 SW 133<sup>rd</sup> Ave.  
Tigard, OR 97224

**Applicant's Representative:**   Emerio Design, LLC  
Anne Marie Skinner  
8285 SW Nimbus Ave., Ste. 180  
Beaverton, OR 97008  
971-330-1129 (cell)

**Location:**                           SW 133<sup>rd</sup> Avenue and SW 132<sup>nd</sup> Terrace

Tax Lots: 2S109AC 01100, 01200, 01300

**Area:**                                   2.77 acres

**Current Zoning:**                   Washington County R-6

**Requested Land Use Review:**   Zone Change Annexation from  
Washington County's R-6 to City of  
Tigard's R-7

**Background and Site Information:** The applicant requests approval for a Zone Change Annexation from unincorporated Washington County to the R-7 Medium Residential District zone in City of Tigard. The City's Comprehensive Plan Map Designation for the site is Medium Density Residential.

The subject site consists of three individual parcels. All three parcels are presently zoned R-6 (Residential 6 units per acre) in unincorporated Washington County. The first parcel is owned by Richard A. Franzke Trust and is addressed as 14980 SW 133<sup>rd</sup> Avenue, consisting of 1.77 acres. This parcel is improved with a single-family residence. The second parcel is owned by Ririe Living Trust, David L. Ririe and Mary Louise Ririe, Trustees, and is addressed as 14920 SW 133<sup>rd</sup> Avenue, consisting of 0.69 acres. This parcel is improved with a single-family residence. The third parcel is also owned by David L. Ririe and Mary Louise Ririe. It doesn't have an address and is unimproved with no residences. It consists of 0.31 acres. The total acreage of the three parcels to be annexed into the City of Tigard is 2.77 acres.

The subject properties currently utilize City of Tigard potable water services. Both existing houses have septic tanks for sewer purposes.

The subject site is generally located on the east side of SW 133<sup>rd</sup> Avenue, approximately 950 feet south of its intersection with SW Bull Mountain Road.

Upon successful completion of the annexation into the City and the zone change to R-7, the three parcels will be developed into a 16-lot subdivision. There will be one new public street running east to west from SW 132<sup>nd</sup> Terrace to SW 133<sup>rd</sup> Avenue. The lots will range in size from 5,000 square feet to approximately 6,600 square feet in area. The subdivision will utilize City of Tigard sanitary sewer and will continue use of Tigard's potable water.

The subject site does not contain any flood plain, drainage hazard areas or significant natural resources. The Sensitive Area Pre-Screening Site Assessment performed by Clean Water Services states: "Based on review of the submitted materials and best available information, Sensitive areas do not appear to exist on site or within 200' of the site."

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**City of Tigard Community Development Code (Title 18)**

**Chapter 18.320                      ANNEXATIONS**

**Section 18.320.020              Approval Process and Standards**

B. Approval Criteria. *The decision to approve, approve with modification, or deny an application to annex property to the city shall be based on the following criteria:*

1. ***All services and facilities are available to the area and have sufficient capacity to provide service for the proposed annexation area; and***

**Response:** The City of Tigard's Comprehensive Plan's Public Facilities and Services Chapter states that for the purposes of the Comprehensive Plan, Public Facilities and Services refers to Stormwater Management, Water Supply and Distribution, Wastewater Management, Community Facilities and Private Utilities. In addition the Comprehensive Plan Glossary includes public safety, parks and transportation. All services are or will be available to the proposed annexation properties and will have adequate capacity to serve future development. The individual services are discussed in detail below.

**Water – City of Tigard:** The properties are within the Tigard Water Service Area and the existing houses are already served by city water. As stated in a pre-application conference held on August 18, 2015 and as noted in an email received from Greg Berry from City of Tigard dated September 24, 2015 (see Exhibit A), the existing water line along the site must be replaced with a larger line to provide adequate service for the proposed 16-lot subdivision. Exhibit B of this submittal shows the site as being within the Tigard Water Service Area.

**Sewer – City of Tigard:** Presently the properties utilize septic tanks for sewer purposes. Existing sewer lines located in SW 132<sup>nd</sup> Terrace (see Exhibit C) will be extended to the site to provide service for the future development. Greg Berry from City of Tigard indicated in an email that existing sewers provide adequate capacity, if extended, to provide service to the site (see Exhibit A). Also see attached Exhibit D which are as-builts from 2005 showing sewer in SW 132<sup>nd</sup> Terrace and Exhibit F, which is from Clean Water

Services showing the City's sewer lines in SW 132<sup>nd</sup> Terrace immediately adjacent to the site.

**Storm Water – City of Tigard:** The City of Tigard is the current provider of storm water services in this area. Storm drainage will be directed to proposed storm water facilities to be located in the southeast corner of the future subdivision (see Exhibit E) and then to existing storm water manholes and lines in SW 132<sup>nd</sup> Terrace (see Exhibit G).

**Streets – City of Tigard Engineering Division:** The subject site's three parcels are currently served by two existing public streets, SW 133<sup>rd</sup> Avenue to the west and SW 132<sup>nd</sup> Terrace to the east. A proposed new public street extending east to west from SW 132<sup>nd</sup> to SW 133<sup>rd</sup> Avenue will be constructed as part of the new subdivision development. Right-of-way dedications and required street improvements along the site's street frontages of existing SW 132<sup>nd</sup> Terrace and SW 133<sup>rd</sup> Avenue will also take place as part of the new subdivision development. As per Exhibit A, Greg Berry indicates that with the additional right-of-way dedication and street improvements discussed at the pre-application conference, streets of adequate capacity may be made available.

**Police – City of Tigard Police Department:** Police services are currently provided by the Washington County Sheriff. If approved, the property will be withdrawn from the Enhanced Sheriff's Patrol District. In an email from Jim Wolf, Public Information Officer for City of Tigard Police Department, the applicant's representative was advised that comments from the Tigard Police Department regarding the proposed annexation would be relayed to City Planning Staff upon request.

**Fire – Tualatin Valley Fire and Rescue (TVF&R):** The subject site is in Tualatin Valley Fire and Rescue's (TVF&R's) service area. TVF&R currently provides services to the subject site, which will not change after the annexation. The Fire District has personnel and equipment in the area that can respond to emergency situations and perform any actions as may be necessary for fire and/or rescue operations. A service provider letter from Tualatin Valley Fire and Rescue has been provided in the submitted materials.

**Parks – City of Tigard:** This annexation and subsequent subdivision does not include any plans for future public parks. However, the R-7 residential zone requires a minimum of 20% of landscaping as well as a 15-foot rear and 15-foot front setback. This will provide adequate space on the property for lawn and play areas for each individual dwelling. Additionally, Elizabeth Price Park is located approximately 1,000 feet to the north of the subject site as seen in Exhibit H.

***2. The applicable comprehensive plan policies and implementing ordinance provisions have been satisfied.***

**Response:** The following Comprehensive Plan goals and policies apply to the proposed annexation: Goal 1.1; Goal 11; and Goal 14.2, Policy 1-4. This project satisfies, or will satisfy upon development, the applicable Comprehensive Plan policies based upon the following:

**Goal 1.1: Provide citizens, affected agencies and other jurisdictions the opportunity to participate in all phases of the planning process.**

**Response:** The City of Tigard provides notice for Type IV land use applications. The city will post, mail and publish notice of the applicable public hearings for this project as noted in Section 18.390.060 of the Tigard Community Development Code (TCDC).

**Goal 11.1: Develop and maintain a stormwater system that protects development, water resources, and wildlife habitat.**

**Policy 1. The City shall require that all new development: A) construct the appropriate stormwater facilities or ensure construction by paying their fair share of the cost; B) comply with adopted plans and standards for stormwater management; and C) meet or exceed regional, state, and federal standards for water quality and flood protection.**

**Response:** The development proposes to construct new stormwater facilities in the southeastern portion of the project. The proposed facilities will meet all required plans and standards for stormwater management and will meet or exceed regional, state and federal standards for water quality and flood protection.

**Goal 11.2: Secure a reliable, high quality, water supply to meet the existing and future needs of the community.**

**Policy 8. The City shall require all new development needing a water supply to: A) connect to a public water system; B) pay a system development charge and other costs associated with extending service; C) ensure adequate pressure and volume to meet consumption and fire protection needs; and D) extend adequately sized water lines with sufficient pressure to the boundaries of the property for anticipated future extension.**

**Response:** The subject site currently utilizes City of Tigard's water supply. Annexing into the City will allow the future development of a 16-lot subdivision to continue to use the City's water supply. As part of the development, the existing water lines will need to be replaced with larger lines to provide adequate capacity and pressure for the subdivision and for any anticipated future extension.

**Goal 11.3: Develop and maintain a wastewater collection system that meets the existing and future needs of the community.**

**Policy 1. The City shall require that all new development: A) connect to the public wastewater system and pay a connection fee; B) construct the appropriate wastewater infrastructure; and C) comply with adopted plans and standards for wastewater management.**

**Response:** As noted previously in this narrative, the existing residences rely on a septic tank system for wastewater management. It is the goal of the proposed development to utilize the City of Tigard’s wastewater system, thus the request for annexation. The wastewater system will be constructed in compliance with adopted plans and standards and all applicable fees will be paid at the time of construction.

**Goal 11.4 Maintain adequate public facilities and services to meet the health, safety, education, and leisure needs of all Tigard residents.**

**Policy 4. The City shall require that all new development: A) can be provided fire and police protection; B) provide Tigard Police, Tualatin Valley Fire and Rescue, and the school districts the opportunity to comment on the proposal; C) have sufficient fire hydrants and fire flow; D) have a street layout and design that is accessible by emergency vehicles; and E) have buildings that meet fire and building code requirements.**

**Response:** The City of Tigard Police Department, upon inquiry, let the applicant know that comment would be provided to City Planning Staff regarding adequacy of police protection for the proposed development. Comment was received from Tualatin Valley Fire and Rescue indicating service is adequate to emergency response to the new subdivision. City Planning Staff will notify the school districts of the proposal. The street layout and design, as well as fire hydrant placement and fire flow, will be designed to ensure accessibility by all emergency vehicles. Houses constructed on the newly-developed lots will have to meet all residential fire and building codes in place at the time of building permit application submittal.

**Goal 11.5 Private utilities provide the needed energy and communication services for the community.**

**Policy 1. The City shall require that all new development: A) secure the required energy and communication utilities; B) place new utilities underground, when feasible, or pay an in-lieu-of fee when crossing or adjacent to a public right-of-way; and C) provide necessary easements for energy and communication services.**

**Response:** The proposed new development will install the appropriate and required energy and communication utilities. New utilities will be placed underground when feasible. Any necessary easements for these utilities will be obtained as applicable.

**Goal 14.2. Implement the Tigard Urban Services Agreement through all reasonable and necessary steps, including the appropriate annexation of unincorporated properties.**

**Policy 1. The City shall assign a Tigard zoning district designation to annexed property that most closely conforms to the existing Washington County zoning designation for that property.**

**Response:** As previously noted in this narrative, the subject site is zoned R-6 in Washington County. As per Table 320-1 "Conversion Table for County and City Plan and Zoning Designations" contained in Chapter 18.320 of the Tigard Community Development Code (TCDC), the City's corresponding zone to the County's R-6 zone is R-7 SFR 5,000 square feet. This zone change annexation request is for the City's R-7 zoning designation upon annexation in accordance with the TCDC.

**Policy 2. The City shall ensure that capacity exists, or can be developed, to provide needed urban level services to an area when approving annexation.**

**Response:** Capacity issues have been addressed above in the responses for Section 18.320.020 B.1 at the beginning of this narrative.

**Policy 3. The City shall approve proposed annexations based on findings that the request:**

**A. Can be accommodated by the City's public facilities and services; and**

**Response:** The availability of the City of Tigard's public facilities and services has previously been noted at the beginning of this narrative in the responses for Chapter 18.320.020 B.1.

**B. Is consistent with applicable state statute.**

**Response:** The provisions of ORS 222, consistent with this policy, are addressed later in this narrative under the response for ORS 222.

**C. Assignment of Comprehensive Plan and Zoning Designations. The comprehensive plan designation and the zoning designation placed on the property shall be the city's zoning district which most closely implements the city's or county's comprehensive plan map**

*designation. The assignment of these designations shall occur automatically and concurrently with the annexation. In the case of land which carries county designations, the city shall convert the county's comprehensive plan map and zoning designations to the city designations which are the most similar.*

*D. Conversion table. Table 320.1 summarizes the conversion of the county's plan and zoning designations to city designations which are most similar.*

**Response:** The three parcels that comprise the subject site are currently zoned R-6 in unincorporated Washington County. This land use district is intended for a minimum density of five lots or units per acre and a maximum density of six lots or units per acre. Table 320.1 from Chapter 18.320 of the TCDC summarizes the conversion of the County's land use districts to City of Tigard designations that are most similar. Per said Table 320.1, the City's zone designation most similar to Washington County's R-6 land use district is City of Tigard's R-7 zone. This is the zone that is being requested for the subject site, and therefore this requirement is met.

**Section 18.390.060                      Type IV Procedure**

*A. Pre-application conference. A pre-application conference is required for all Type IV actions. The requirements and procedures for a preapplication conference are described in 18.390.080.C.*

**Response:** Annexations are processed by means of a Type IV procedure, as governed by Chapter 18.390 of the TCDC. A pre-application conference for this zone change annexation request and subsequent subdivision development was held on August 18, 2015. City staff members present at the conference were Monica Bilodeau and Greg Berry.

*G. Decision-making considerations. The recommendation by the commission and the decision by the council shall be based on consideration of the following factors:*

**1. *The Statewide Planning and Goals and Guidelines adopted under Oregon Revised Statutes Chapter 197;***

**Response:** As per Oregon Revised Statute 197.013 implementation and enforcement of acknowledged comprehensive plans and land use regulations are matters of statewide concern. Oregon Revised Statute 197.005 states that cities are responsible for the development of local comprehensive plans. The City of Tigard has an adopted comprehensive plan which is in compliance with Oregon Planning and Goals and Guidelines. As outlined throughout this narrative, this project has been shown to be in compliance with Tigard's Comprehensive Plan when developed. Therefore, when

developed, the project will also be in compliance with the Statewide Planning and Goals and Guidelines.

**2. Any federal or state statutes or regulations found applicable;**

**Response:** State law (ORS 222.120(4)(b), ORS 222.125 and ORS 222.170(1)) allows for a city to annex contiguous territory when owners of land in the proposed annexation territory submit a petition to the legislative body of the City. In addition, ORS 222.111(2) allows for a city to act on its own motion to annex contiguous territory. A city is not required to hold an election for such an annexation if it follows the noticing procedures for a public hearing per ORS 222.120.

ORS 222.120 requires the city to hold a public hearing before its City Council and provide public notice to be published once each week for two successive weeks prior to the day of the hearing, in a newspaper of general circulation in the city, and shall cause notices of the hearing to be posted in four public places in the city for the same two weeks period.

The owners of the concerned parcels have submitted a petition to the City of Tigard to annex their combined 2.77 acres into city limits. The subject parcels are contiguous to City of Tigard city limits. The city is responsible for the appropriate public noticing and publication. Upon proper application of the rules and procedures described above, the applicable provisions of ORS 222 will have been met.

**3. Any applicable METRO regulations;**

**Response:** Chapter 3.09 (Section 3.09.910) of the Metro Code applies to boundary changes within the boundaries of Metro or of urban reserves designated by Metro and any annexation of territory to the Metro boundary. In this case, the property is within the Metro boundary and is moving from unincorporated Washington County into City of Tigard within the boundaries of Metro. The notice requirements in the section apply to all boundary change decisions by a reviewing entity (in this case the City of Tigard) except expedited decisions. This is not an expedited decision.

As per Section 3.09.030, within 45 days after the City deems this application complete, they shall set a time for hearing and shall give required notice as outlined in that section.

Section 3.09.040 outlines the requirements for petitions. The petition for the boundary change must contain the following information: 1) the jurisdiction of the reviewing entity to act on the petition (**City of Tigard**); 2) a map and a legal description of the affected territory (**the map and certified legal description of the subject site are included as part of the application packet**); 3) for minor boundary changes, the names and mailing

addresses of all persons owning property and all electors within the affected territory as shown in the records of the tax assessor and county clerk (**see the Double Majority Worksheet for Annexation to the City of Tigard**); and 4) for boundary changes under ORS 198.855(3), 198.857, 222.125 or 222.170, statements of consent to the annexation signed by the requisite number of owners or electors (**not applicable**). The appropriate fee for this application was submitted to the City of Tigard with the application packet.

Section 3.09.045 pertains to expedited decisions. This request is not an expedited decision, therefore this section does not apply.

Section 3.09.050 discusses the hearing and decision requirements for decisions other than expedited decisions. The following information must be included in a report made available to the public no later than 15 days prior to the hearing date:

1. The extent to which urban services are available to serve the affected territory, including any extra territorial extensions of service (**As demonstrated throughout this narrative, urban services are available to the subject site and will be extended and/or expanded as necessary to the affected territory to adequately service the proposed development.**);
2. Whether the proposed boundary change will result in the withdrawal of the affected territory from the legal boundary of any necessary party (**The proposed area will remain within Washington County but will be required to withdraw from the Washington County Enhanced Sheriff's Patrol District and Urban Road Maintenance District upon completion of this annexation.**)

Information presented in this narrative demonstrates the proposed boundary change meets the applicable criteria.

**4. Any applicable comprehensive plan policies; and**

**Response:** Applicable comprehensive plan policies have been addressed previously in this narrative.

**5. Any applicable provisions of the City's implementing ordinances.**

**Response:** Provisions of the City's implementing ordinances either are not applicable or have been addressed previously in this narrative.



Anne Marie Skinner <annemarie@emeriodesign.com>

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## Adequately Provide Street Services

3 messages

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Anne Marie Skinner <annemarie@emeriodesign.com>

Thu, Sep 24, 2015 at 3:20 PM

To: mikem@tigard-or.gov

Hi Mike,

I am working on an Annexation Narrative for the following parcels:

2S1 09AC 01100

2S1 09AC 01200

2S1 09AC 01300

The requirements state the narrative for an annexation request must provide information pertaining to "all services and facilities are available to the area and have sufficient capacity to provide service for the proposed annexation area".

Your name is listed as the contact for the Street Services Service Provider.

Once annexed, the plan is to submit a subdivision application to develop the site into a 16-lot single-family subdivision.

Please provide me with information pertaining to Streets services and facilities available to the site and if there is sufficient capacity to provide Streets services for the proposed annexation area. Ideally, I need this information from you by next Thursday, October 1, 2015.

If there is another individual to whom this should be directed, please let me know.

Thank you,  
AnneMarie

--

Anne Marie Skinner

Planning Director

971.330.1129 | [www.emeriodesign.com](http://www.emeriodesign.com)

8285 SW Nimbus Avenue, Suite 180

Beaverton, OR 97008

---

Greg Berry <greg@tigard-or.gov>

Thu, Sep 24, 2015 at 5:17 PM

To: "annemarie@emeriodesign.com" <annemarie@emeriodesign.com>

Cc: Monica Bilodeau <MonicaB@tigard-or.gov>, Cheryl Caines <cherylc@tigard-or.gov>

Streets- With the additional right-of-way dedication and street improvements discussed at the preapplication conference, streets of adequate capacity may be made available.

5 u h i k i l d

Sanitary Sewer- Existing sewers of adequate capacity may be extended to the site to provide service.

Water- As discussed during the preapplication conference, an existing line along the site must be replaced with a larger line to provide adequate.

**From:** Anne Marie Skinner [mailto:annemarie@emeriodesign.com]

**Sent:** Thursday, September 24, 2015 3:21 PM

**To:** Mike McCarthy

**Subject:** Adequately Provide Street Services

[Quoted text hidden]

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DISCLAIMER: E-mails sent or received by City of Tigard employees are subject to public record laws. If requested, e-mail may be disclosed to another party unless exempt from disclosure under Oregon Public Records Law. E-mails are retained by the City of Tigard in compliance with the Oregon Administrative Rules "City General Records Retention Schedule."

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**Anne Marie Skinner** <annemarie@emeriodesign.com>

Fri, Sep 25, 2015 at 10:47 AM

To: Greg Berry <greg@tigard-or.gov>

Cc: Monica Bilodeau <MonicaB@tigard-or.gov>, Cheryl Caines <cherylc@tigard-or.gov>

Hi Greg,

Thank you for the information.

AnneMarie

[Quoted text hidden]

Exhibit A

# TIGARD WATER SERVICE AREA

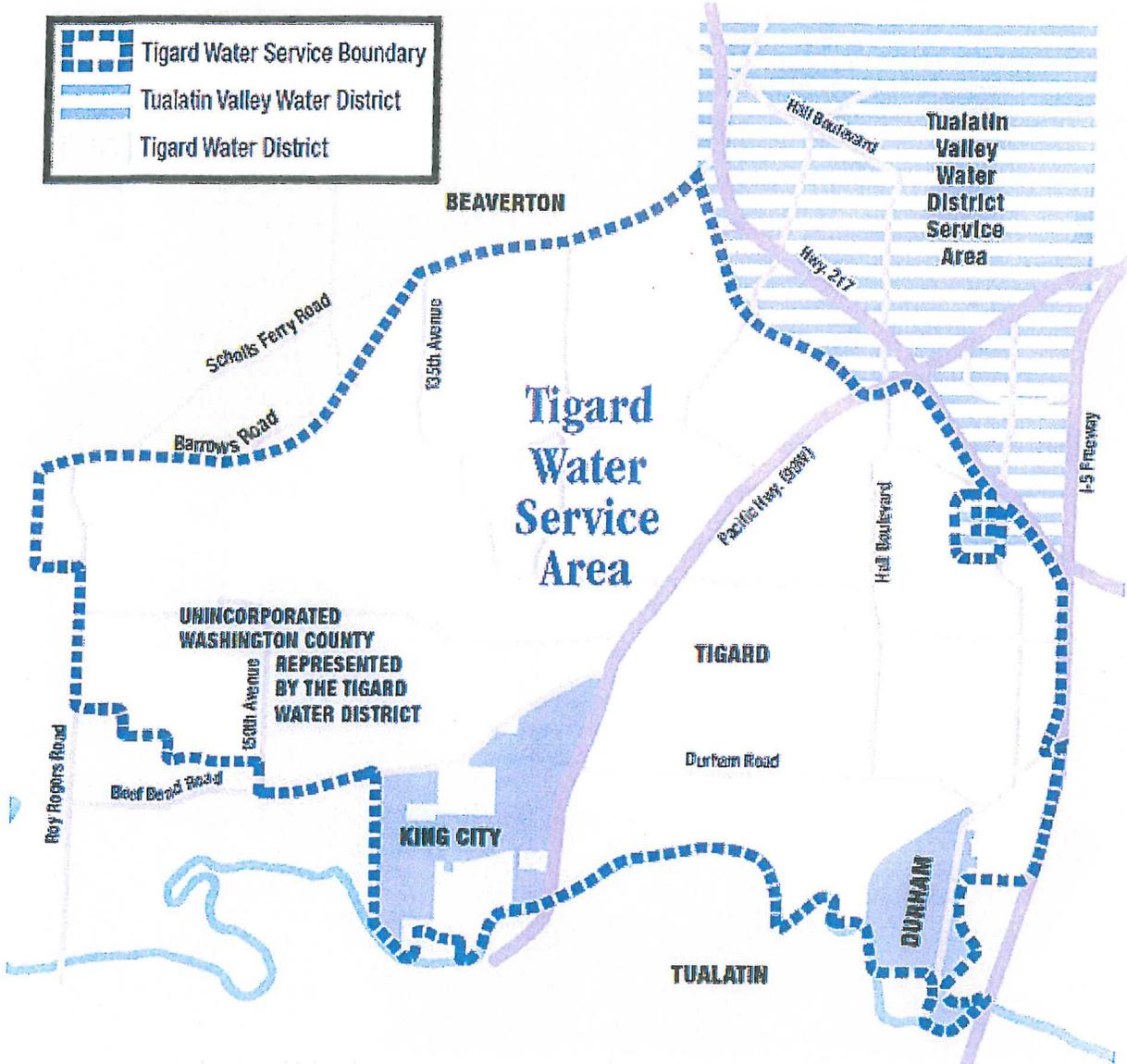
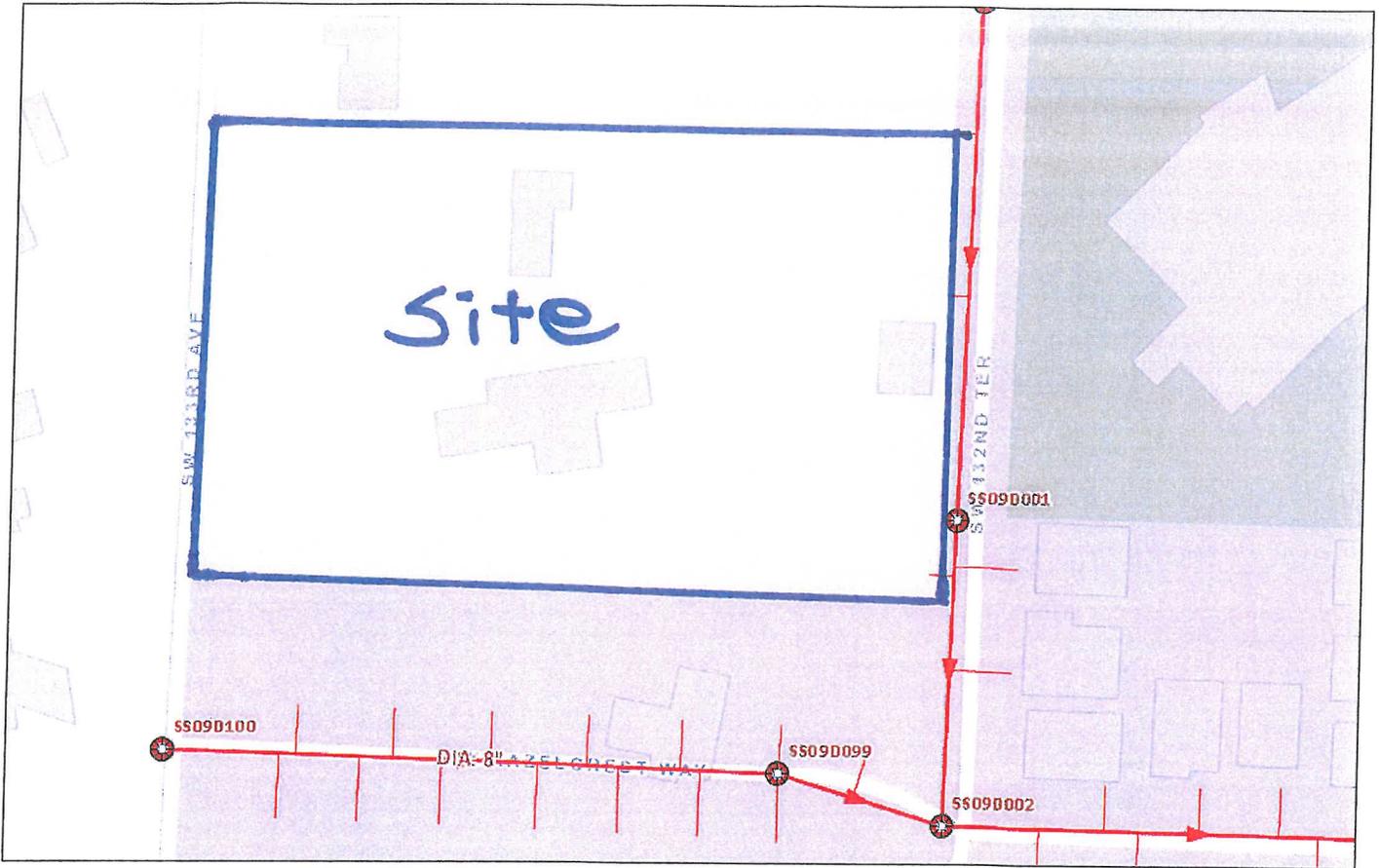
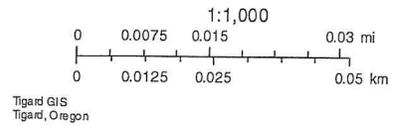


Exhibit B

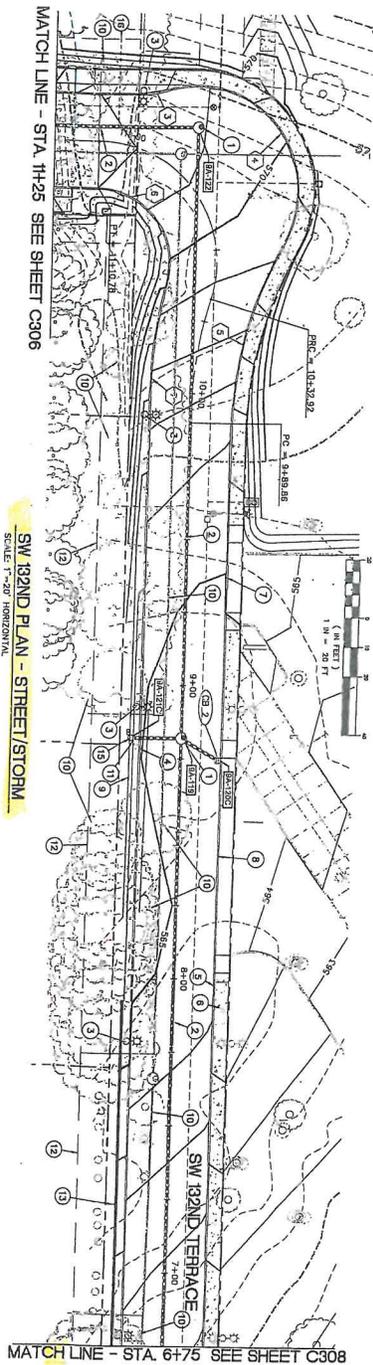
# Sewer



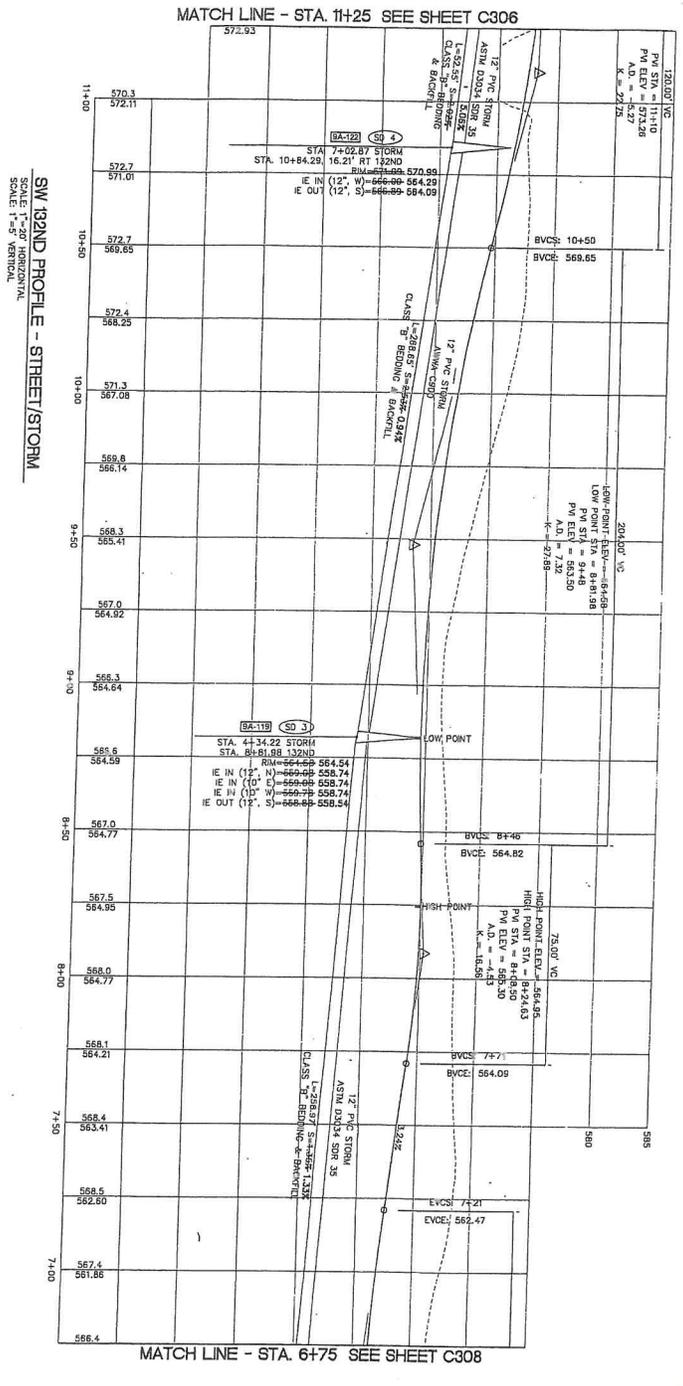
September 28, 2015



# Exhibit C



- ### CONSTRUCTION KEYNOTES
1. CONSTRUCT STORM DRAIN MANHOLE PER CLEAN WATER SERVICES DETAIL 010. SEE PROFILE FOR RIM & INVERT ELEVATIONS.
  2. PROPOSED STORM DRAIN LINE. SEE PROFILE FOR INFORMATION.
  3. CONSTRUCT VENTILATION CHIMNEY PER CITY OF TIGARD DETAIL NO. 125.
  4. CONSTRUCT CURB & GUTTER PER CITY OF TIGARD DETAIL NO. 128.
  5. CONSTRUCT 5.0' WIDE SIDEWALK PER CITY OF TIGARD DETAIL NO. 120.
  6. PER CITY OF TIGARD DETAIL NO. 142.
  7. PER CITY OF TIGARD DETAIL NO. 142.
  8. PER CITY OF TIGARD DETAIL NO. 142.
  9. FIELD VERIFY EXISTING CONDITIONS PRIOR TO CONSTRUCTION. SLOPE 2:1 TO DRAINAGE.
  10. REMOVE EXISTING TREES & BRUSH. COORDINATE WITH ADJACENT AND PROPERTY OWNERS.
  11. 12" PVC (ASTM D3034) SDR 35 LATERAL PILE & MARK END. 1'-11/5" S-2-109P.
  12. 10" TEMPORARY CONSTRUCTION EXISTING. CONSIDER TREE REMOVAL, LANDSCAPING & FENCING TO BE DONE ACCORDING TO FINISHED ASSESSMENT.
  13. RETAINING WALL (DESIGN BY OTHERS). SEE SHEET C300 & C&M FOR WALL PROFILE & CROSS SECTIONS.
  14. - NOT USED -
  15. INSTALL TEMPORARY CLEAN OUT. (E-560.13)
  16. 4" PVC (ASTM D3034) SDR 35 LATERAL PILE & MARK END. 1'-3 1/2" S-2-109P. CONSIDER TREE REMOVAL, LANDSCAPING & FENCING TO BE DONE ACCORDING TO FINISHED ASSESSMENT. PRIORITY TO HORRUP. SEE DETAIL #107 SHEET C300.



CHIMNEY	STATION	STREET NAME	OUTLET
1	10+38.27	ST SW 132ND	571.50
2	10+71.48	ST SW 132ND	571.48
3	11+00.00	ST SW 132ND	571.67
4	11+28.00	ST SW 132ND	571.67
5	11+56.00	ST SW 132ND	571.67
6	11+84.00	ST SW 132ND	571.67
7	12+12.00	ST SW 132ND	571.67
8	12+40.00	ST SW 132ND	571.67
9	12+68.00	ST SW 132ND	571.67
10	12+96.00	ST SW 132ND	571.67
11	13+24.00	ST SW 132ND	571.67
12	13+52.00	ST SW 132ND	571.67
13	13+80.00	ST SW 132ND	571.67
14	14+08.00	ST SW 132ND	571.67

STREET LIGHTS  
 30' BRONZE (5' MOUNTING HEIGHT)  
 150' WATT SENSORS ON 8' MOUNT ARMS  
 (PER AMERICAN LAMP & 132ND TERMS)

RECORD DRAWINGS  
 DRAWN BY: \_\_\_\_\_ DATE: \_\_\_\_\_  
 CHECKED BY: \_\_\_\_\_ DATE: \_\_\_\_\_

THIS RECORD DRAWING REFLECTS THE FIELD CONDITIONS AS OBSERVED BY THE CONTRACTOR AND ENGINEER. ANY CHANGES TO THE ORIGINAL DRAWING SHALL BE SHOWN FOR RECORD INFORMATION ONLY.

REVISIONS	DATE	DESCRIPTION	MPC	PREP	CHKD
1	10/31/05	RECORD DRAWINGS			

REGISTERED PROFESSIONAL ENGINEER  
 No. 00000  
 EXPIRES 6-30-2006

## SUMMIT RIDGE STREET IMPROVEMENTS

TIGARD, OREGON

### SW 132ND - STREET & STORM

STA. 11+25 TO STA. 6+75

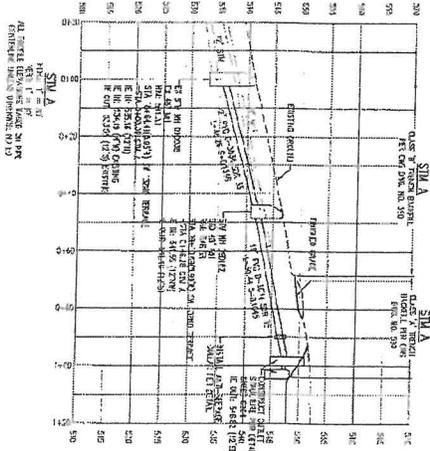
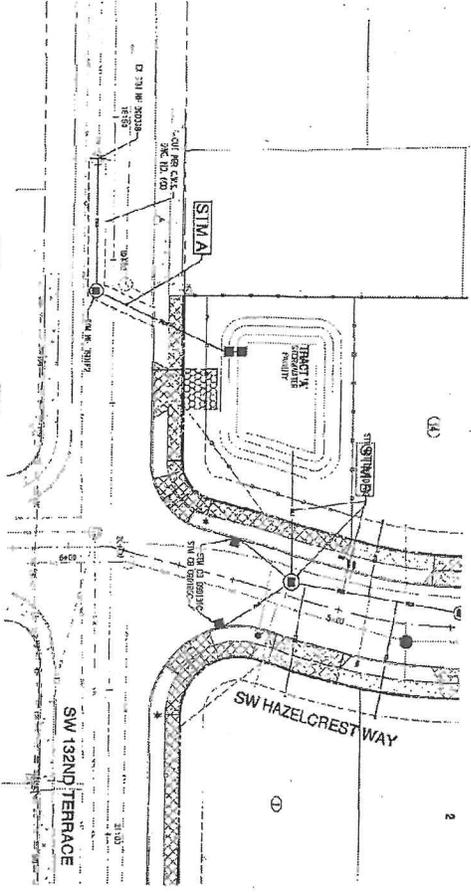
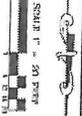
**WESTLAKE CONSULTANTS INC.**

ENGINEERING • SURVEYING • PLANNING

PAVING CONTRACTOR LICENSED  
 16110 SW 85TH AVENUE SUITE 100  
 TIGARD OREGON 97224 FAX (503) 684-8862







- NOTES:
1. SEE PLAN SHEET FOR THE LOCATION OF THE STORM SEWER.
  2. THE STORM SEWER SHALL BE 18" DIA. WITH A 0.5% SLOPE.
  3. THE STORM SEWER SHALL BE 1.5 FEET DEEP.
  4. THE STORM SEWER SHALL BE 1.5 FEET DEEP AT ALL POINTS.
  5. THE STORM SEWER SHALL BE 1.5 FEET DEEP AT ALL POINTS.

AS-BUILT DISCLAIMER:  
 AS-BUILT INFORMATION IS BASED ON A COMPARISON OF THE  
 SURVEY INFORMATION AND VISUAL OBSERVATIONS OF THE ENGINEER  
 AFTER CONSTRUCTION WAS COMPLETED. AS-BUILT ARE ONLY  
 FOR PUBLIC UTILITY IMPROVEMENTS AND PRIVATE STREET.

**STORM SEWER 'A' PLAN AND PROFILE**

**SEQUOIA HEIGHTS  
 SUBDIVISION AS-BUILTS**  
 CITY OF TIGARD CASE FILE SUB2013-0002

JNS DESIGNING AND ENGINEERING, LLC  
 2810 SE GARDENWAY BL  
 SUITE 100  
 TIGARD, OR 97146  
 PHONE: (503) 255-2795  
 FAX: (503) 255-2895  
 WWW: JNS-DE.COM

**AKS**  
 ENGINEERING • PLANNING • SURVEYING  
 FORESTRY • LANDSCAPE ARCHITECTURE

**C201**

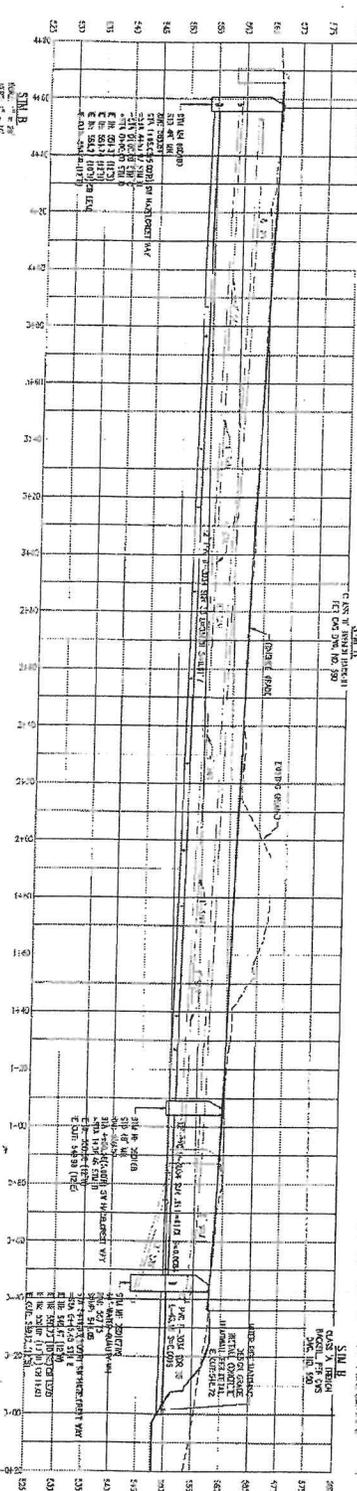
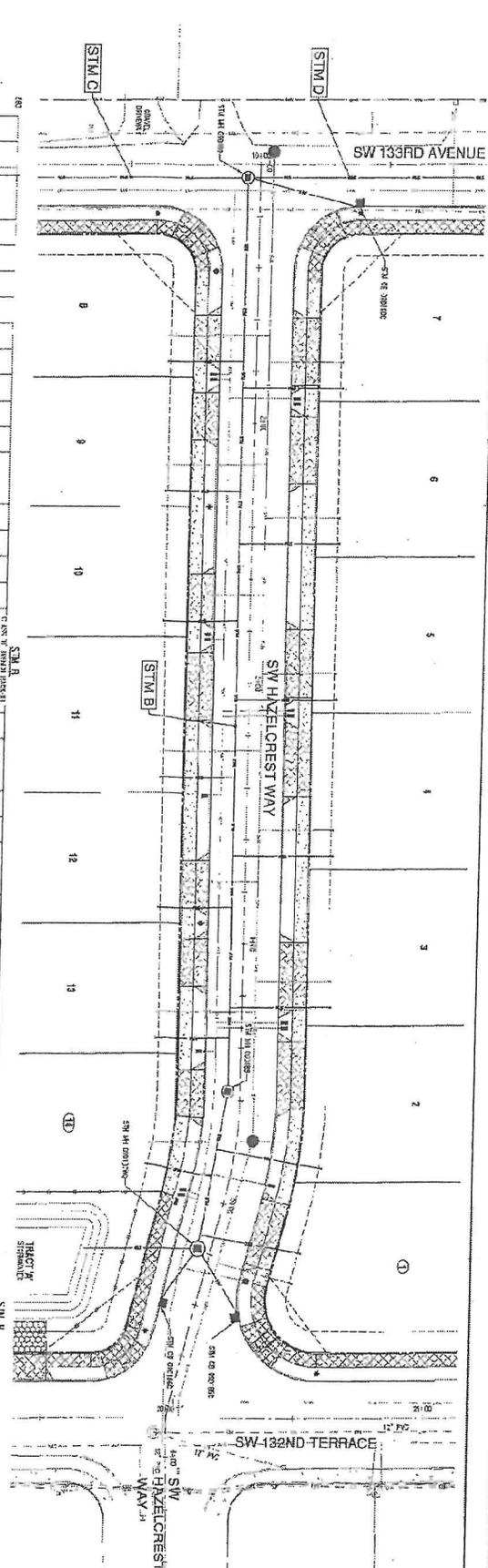
439 NUMBER  
 3346 SHEET

DATE: 07/20/11

PROJECT: SW 132ND TERRACE

SCALE: 1" = 20' PLAN  
 1" = 2' PROFILE

ALL ELEVATIONS UNLESS NOTED OTHERWISE ARE IN FEET.



1. REEL SHALL BE MADE BY 1/4" OF CONCRETE
2. COVER SHALL BE 18" MINIMUM COVER AT POINT OF DATA
3. REEL SHALL BE MADE BY 1/4" OF CONCRETE PER 100' OF DATA
4. COVER SHALL BE 18" MINIMUM COVER AT POINT OF DATA
5. REEL SHALL BE MADE BY 1/4" OF CONCRETE PER 100' OF DATA

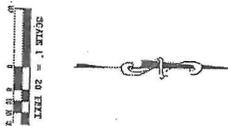
**CATCH BASIN TABLE**

NO.	DATE	BY	CHKD	REVISION	DESCRIPTION
1	01-14-10	JLW	ML	1	ISSUED FOR PERMITS
2	01-14-10	JLW	ML	2	REVISED FOR COMMENTS
3	01-14-10	JLW	ML	3	REVISED FOR COMMENTS
4	01-14-10	JLW	ML	4	REVISED FOR COMMENTS
5	01-14-10	JLW	ML	5	REVISED FOR COMMENTS

AS-BUILT DRAWING IS BASED ON A COMPARISON OF THE D ONLY GENRES ACCORDING TO THE ENGINEER'S FIELD SURVEY. THE ENGINEER HAS CONDUCTED VISUAL INSPECTIONS AND PUBLIC UTILITY IMPROVEMENTS AND PRIVATE STREET.

**STORM SEWER LATERAL TABLE**

NO.	DATE	BY	CHKD	REVISION	DESCRIPTION
1	01-14-10	JLW	ML	1	ISSUED FOR PERMITS
2	01-14-10	JLW	ML	2	REVISED FOR COMMENTS
3	01-14-10	JLW	ML	3	REVISED FOR COMMENTS
4	01-14-10	JLW	ML	4	REVISED FOR COMMENTS
5	01-14-10	JLW	ML	5	REVISED FOR COMMENTS



**STORM SEWER 'B' PLAN AND PROFILE**

**SEQUOIA HEIGHTS SUBDIVISION AS-BUILTS**  
 CITY OF TIGARD, CASE FILE SUB2013 0002  
 TIGARD OREGON

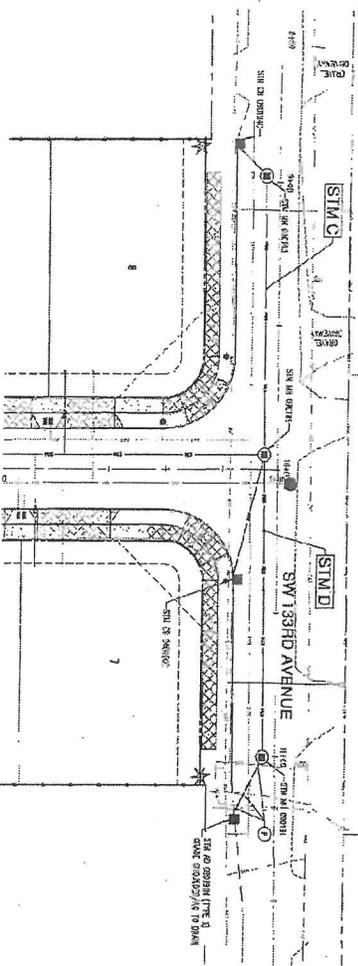
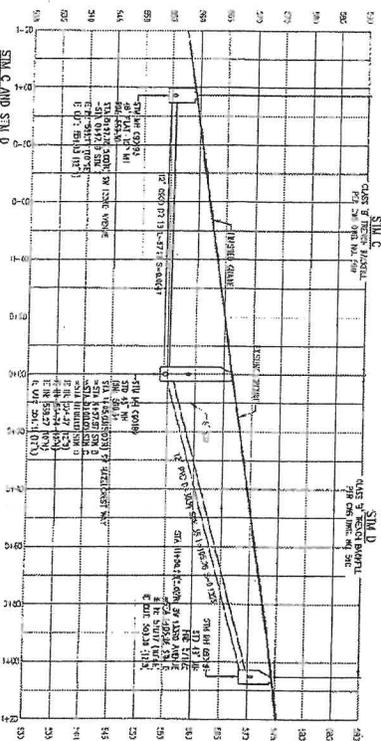
AKS ENGINEERING AND FORESTRY, LLC  
 12810 SW GILBERT RD  
 SUITE 100  
 TIGARD, OR 97146  
 PHONE: 503.335.8282  
 FAX: 503.335.8289  
 WWW.AKS-ENG.COM  
 ENGINEERING • PLANNING • SURVEYING

**C202**  
 SHEET 3346  
  
 JAMES L. WHITE  
 3346

AS-BUILT DISPLAY  
 AS-BUILT INFORMATION IS BASED ON A COMPARISON OF FIELD  
 DATA WITH THE ORIGINAL DESIGN. ANY CHANGES MADE  
 AFTER CONSTRUCTION WAS COMPLETE SHALL BE THE ONLY  
 BASIS FOR ANY INFORMATION AND DESIGN CHANGES.

1. ALL DIMENSIONS ARE TO CENTER UNLESS NOTED OTHERWISE.
2. ALL DIMENSIONS ARE TO CENTER UNLESS NOTED OTHERWISE.
3. ALL DIMENSIONS ARE TO CENTER UNLESS NOTED OTHERWISE.
4. ALL DIMENSIONS ARE TO CENTER UNLESS NOTED OTHERWISE.
5. ALL DIMENSIONS ARE TO CENTER UNLESS NOTED OTHERWISE.

ALL POINTS SHOWN ARE TO BE  
 CONSIDERED AS-BUILT.



ID	NO.	LOC.	TYPE	DEPTH	LENGTH	WIDTH	AREA	PERCENT	PERCENT
CB-1	1	SW 133RD AVENUE	STANDARD	24"	10'	4'	160	100%	100%
CB-2	2	SW 133RD AVENUE	STANDARD	24"	10'	4'	160	100%	100%

**STORM SEWER 'C' AND 'D' PLAN AND PROFILE**

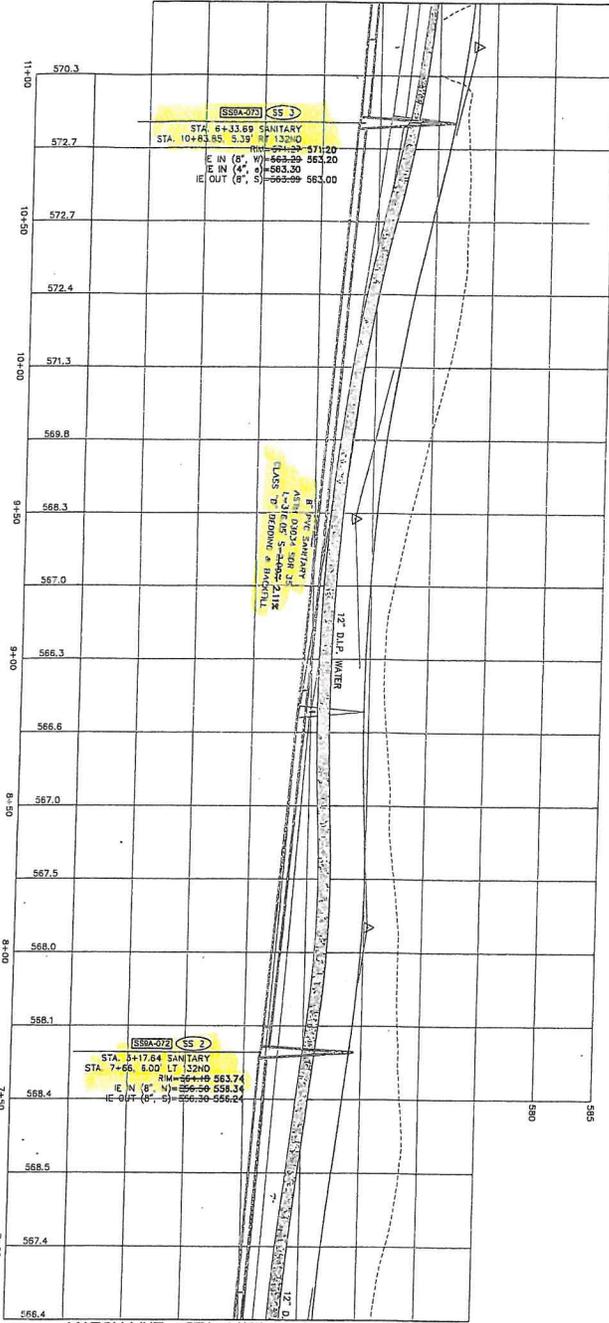
**SEQUOIA HEIGHTS SUBDIVISION AS-BUILTS**  
 CITY OF TIGARD CASE FILE SUB2013-00002

AKS ENGINEERING AND PLANNING, LLC  
 13010 SW COLUMBIA ST.  
 TIGARD, OR 97136  
 PHONE: 503.515.8700  
 FAX: 503.515.8701  
 WWW.AKS-OR.COM

**C203**  
 SHEET  
 3346

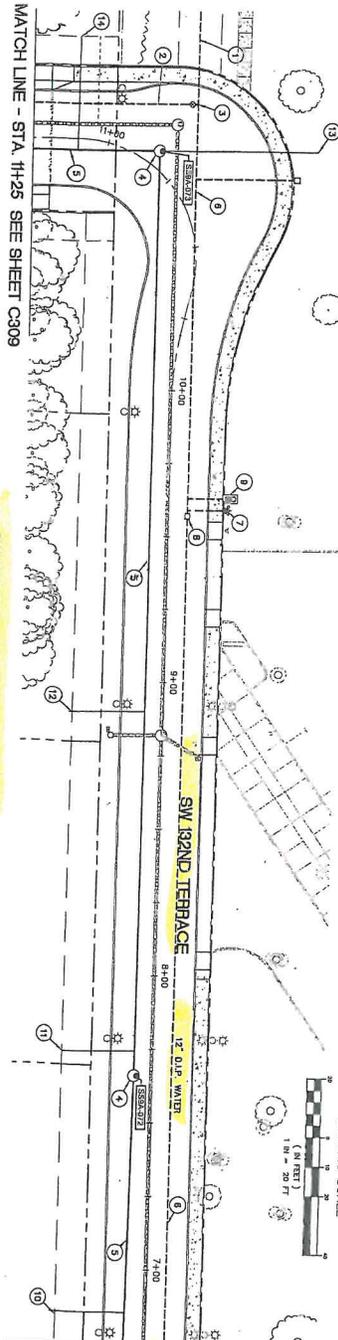
DATE: 02/27/17  
 TIME: 4:00 PM  
 SHEET: 3346

MATCH LINE - STA. 11+25 SEE SHEET C309



SW 132ND PROFILE - SANITARY/WATER  
SCALE 1"=20' HORIZONTAL  
SCALE 1"=5' VERTICAL

MATCH LINE - STA. 6+75 SEE SHEET C311



SW 132ND LIEBFACE - SANITARY/WATER  
SCALE 1"=20' HORIZONTAL

MATCH LINE - STA. 6+75 SEE SHEET C311



**CONSTRUCTION NOTES**

1. PROPOSED 12" D.I.P. CLASS 52 WATER LINE. SEE SHEET C311 FOR CONTINUATION.
2. PROPOSED 6" D.I.P. CLASS 92 WATER LINE. MAINTAIN 3.0 MINIMUM COVER OVER TOP OF PIPE.
3. INSTALL 12" 95' M.I. TEE W/ (1) 5" M.I. GATE VALVE.
4. CONSTRUCT SUMP FROM MANHOLE FOR CLEAN WATER SERVICES DETAIL NO. 010 SEE PROFILE FOR CONSTRUCTION DETAILS.
5. PROPOSED SANITARY SUMP LINE. SEE PROFILE FOR INFORMATION, OVER TOP OF 12" D.I.P. CLASS 52 WATER LINE. MAINTAIN 3.0 MINIMUM COVER.
6. STA. 9+50 - 20' 0" FIT. - INSTALL FIRE HYDRANT ASSEMBLY PER CITY OF TIGARD DETAIL NO. 510.
7. STA. 9+57 - 7' 0" FIT. - INSTALL 12" M.I. BUTTERFLY VALVE PER CITY OF TIGARD DETAIL NO. 504.
8. STA. 9+83 - 20' 0" FIT. - INSTALL 12" M.I. BUTTERFLY VALVE PER CITY OF TIGARD DETAIL NO. 572.
9. STA. 9+83 - 20' 0" FIT. - INSTALL 12" M.I. BUTTERFLY VALVE PER CITY OF TIGARD DETAIL NO. 572.
10. 4" PVC (ASTM D2034 SDR 35) LATERAL, PLUG & MARK END. PRIOR TO HOOKUP. - SEE CONNECTION PERMITS REQUIRED.
11. 4" PVC (ASTM D2034 SDR 35) LATERAL, PLUG & MARK END. PRIOR TO HOOKUP. - SEE CONNECTION PERMITS REQUIRED.
12. 4" PVC (ASTM D2034 SDR 35) LATERAL, PLUG & MARK END. PRIOR TO HOOKUP. - SEE CONNECTION PERMITS REQUIRED.
13. 4" PVC (ASTM D2034 SDR 35) LATERAL, PLUG & MARK END. PRIOR TO HOOKUP. - SEE CONNECTION PERMITS REQUIRED.
14. 4" PVC (ASTM D2034 SDR 35) LATERAL, PLUG & MARK END. PRIOR TO HOOKUP. - SEE CONNECTION PERMITS REQUIRED.

THIS RECORD DRAWING REFLECTS THE LATEST REVISIONS PROVIDED BY THE CONTRACTOR AND ENGINEERING, INC. THIS INFORMATION IS SHOWN FOR RECORD INFORMATION ONLY.

RECORD DRAWINGS  
DRAWN BY: \_\_\_\_\_ DATE: \_\_\_\_\_  
CHECKED BY: \_\_\_\_\_ DATE: \_\_\_\_\_

NO.	DATE	DESCRIPTION	BY	CHKD.
1	10/31/05	RECORD DRAWINGS	MPG	PRT

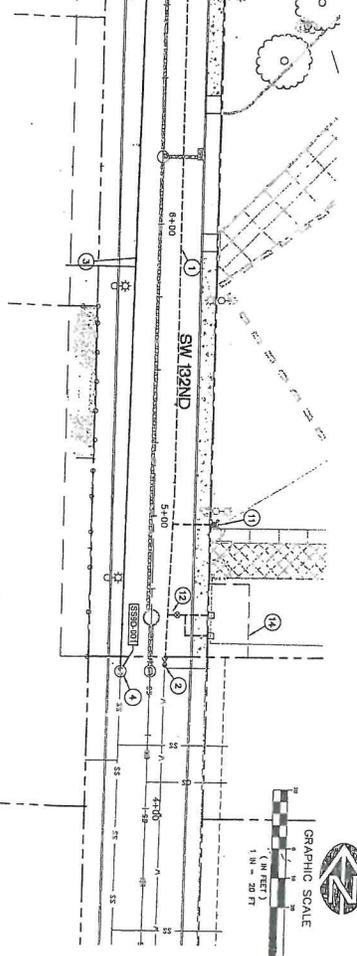
REGISTERED PROFESSIONAL ENGINEER  
STATE OF OREGON  
NOVEMBER 12, 2003  
EXPIRES 12/31/2006

WESTLAKE CONSULTANTS INC.  
ENGINEERING SURVEYING PLANNING  
PACIFIC CORPORATE CENTER  
1515 S.W. 34th ST. SUITE 150  
TIGARD OREGON 97146  
PHONE (503) 684-9650  
FAX (503) 684-0167

**SUMMIT RIDGE STREET IMPROVEMENTS**  
TIGARD, OREGON  
SW 132ND SANITARY & WATER  
STA. 6+75 TO STA. 6+75

**WESTLAKE CONSULTANTS INC.**  
ENGINEERING SURVEYING PLANNING  
PACIFIC CORPORATE CENTER  
1515 S.W. 34th ST. SUITE 150  
TIGARD OREGON 97146  
PHONE (503) 684-9650  
FAX (503) 684-0167

MATCH LINE - STA. 6+75 SEE SHEET C310

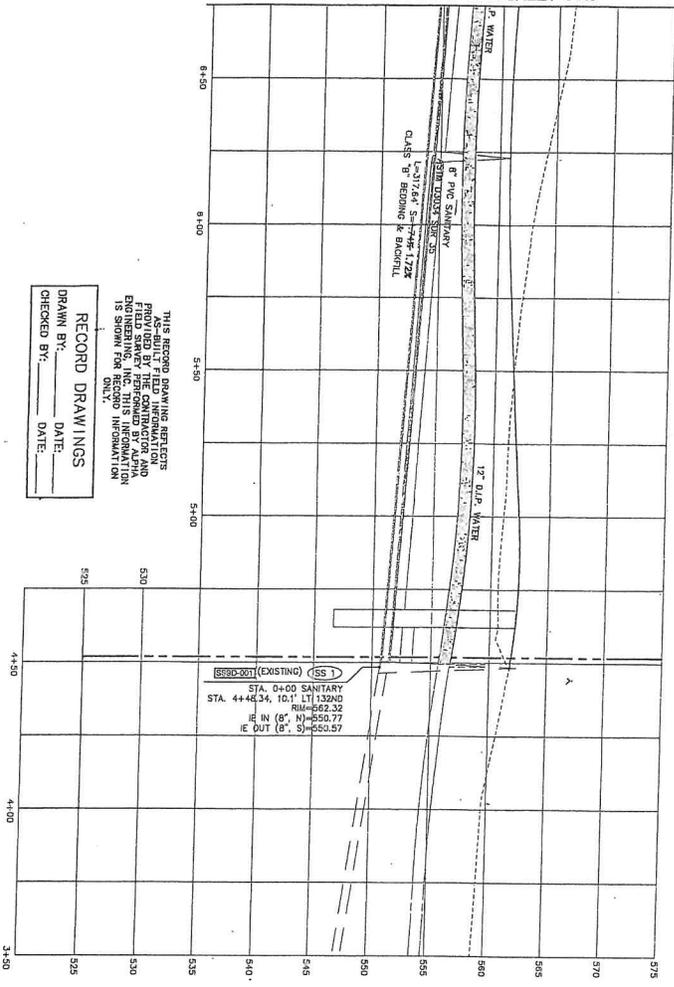


**SW 132ND PLAN - SANITARY/WATER**  
SCALE: 1" = 20' HORIZONTAL

NOTE:  
STREET CONTRACTORS A SITE CONSTRUCTION TO  
CORRELATE CONNECTION TO WATER SERVICES  
FROM SUPPLIES SCHOOL.



MATCH LINE - STA. 6+75 SEE SHEET C310

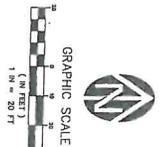


**SW 132ND PROFILE - SANITARY/WATER**  
SCALE: 1" = 5' HORIZONTAL  
SCALE: 1" = 5' VERTICAL

RECORD DRAWINGS  
DRAWN BY: \_\_\_\_\_ DATE: \_\_\_\_\_  
CHECKED BY: \_\_\_\_\_ DATE: \_\_\_\_\_

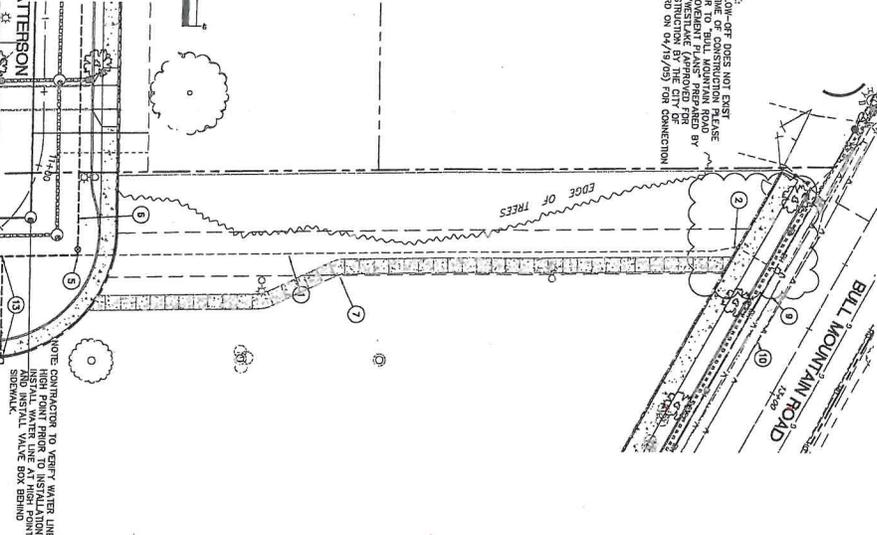
THIS RECORD DRAWING REFLECTS  
THE FIELD CONDITIONS AS OBSERVED  
PROVIDED BY THE CONTRACTOR AND  
ENGINEERING INFORMATION. THIS  
IS SHOWN FOR RECORD INFORMATION  
ONLY.

SS (EXISTING) 55  
STA. 6+00 SANITARY  
STA. 4+445.34, 10.1' LT 132ND  
R/S  
IN IN (6") 550.77  
IE OUT (6") 550.97



**SW BATTERSON**  
SCALE: 1" = 20' HORIZONTAL

12" WATER LINE TO BULL MOUNTAIN ROAD



NOTE: CONTRACTOR TO VERIFY WATER LINE  
HIGH POINT PRIOR TO INSTALLATION  
INSTALL WATER LINE AT HIGH POINT  
SERVING ALL VALVE BOX BEHIND

- CONSTRUCTION KENOTES**
1. PROPOSED 12" D.I.P. CLASS 52 WATER LINE MAINTAIN 3.0' MINIMUM COVER FROM 12" PIPE. ALL PIPE IN EASEMENT TO BE JOINT RESTRAINED.
  2. REMOVE EXISTING BLOW OFF ASSEMBLY, CONNECT TO EXISTING 12" WATER LINE.
  3. PROPOSED SANITARY SEWER LINE, SEE PROFILE FOR INFORMATION.
  4. CONNECT TO EXISTING SANITARY MANHOLE, SEE PROFILE FOR INFORMATION.
  5. INSTALL 12"x12" MA TE W/ (1) 12" MA BR VALVE & (1) 8" MA ONE VALVE.
  6. PROPOSED 8" MA CLASS 52 WATER LINE MAINTAIN 3.0' MINIMUM COVER OVER TOP OF PIPE.
  7. 15.0' WIDE PUBLIC WATER/PEDESTRIAN ACCESS EASEMENT CENTERED OVER WATER LINE.
  8. NOT USED
  9. EXISTING 12" D.I.P. WATER LINE.
  10. EXISTING 18" D.I.P. WATER LINE.
  11. STA. 4+442.20 TO 67' RT - INSTALL FINE MESHANT ASSEMBLY PER CITY OF TIGARD DETAIL NO. 542.
  12. STA. 4+446.70 TO 67' RT - INSTALL 12"x12" MA X 12' TEE, 6" RIG X MA DV, 20' LF OF 8" D.I.P. (EXTEND TO E), & BUND FLANGE.
  13. INSTALL 2" COMBINATION AIR & VACUUM RELEASE PER CITY OF TIGARD DETAIL NO. 591. SEE SHEET C405 FOR DETAIL.
  14. PUBLIC WATER EASEMENT PER DOCUMENT NO. \_\_\_\_\_

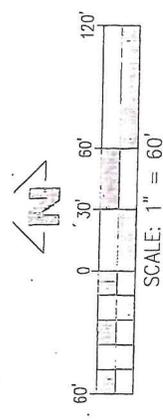
NOTE:  
IF BLOW-OFF DOES NOT EXIST  
AT TIME OF CONSTRUCTION PLEASE  
IMPROVED PLANS PREPARED BY  
CONTRACTOR FOR APPROVED FOR  
CONSTRUCTION (SEE SPECIFICATIONS  
TOWARD ON 04/19/05) FOR CONNECTION

**SUMMIT RIDGE STREET IMPROVEMENTS**  
TIGARD, OREGON  
SW 132ND SANITARY & WATER  
STA. 6+75 TO STA. 3+50

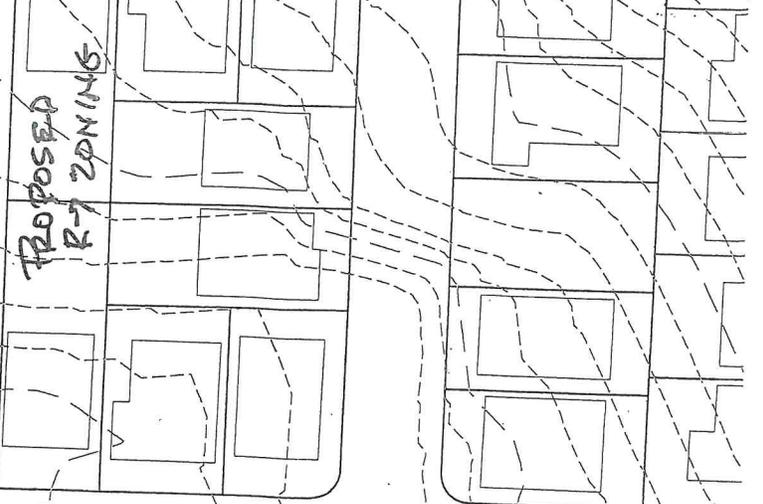
**WESTLAKE CONSULTANTS INC.**  
ENGINEERING • SURVEYING • PLANNING  
PACIFIC CORPORATE CENTER  
1515 S.W. 5TH AVENUE, SUITE 160  
TIGARD OREGON 97154  
PHONE (503) 634-0668  
FAX (503) 634-0187

PROFESSIONAL ENGINEER  
STATE OF OREGON  
No. 10496  
DATE: 04/19/05  
PROJECT: SW 132ND SANITARY & WATER  
SHEET NO. 155803K  
JOB NO. 155803K  
1234567890

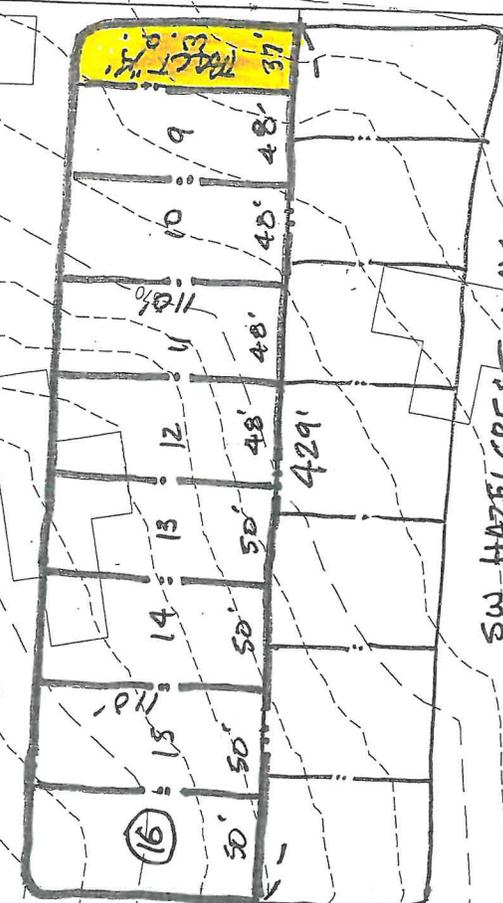
NO.	DATE	DESCRIPTION	BY	CHECKED
1	10/31/05	RECORD DRAWINGS	MPC	PRT



PROPOSED SUBDIVISION  
 TAX LOTS  
 1100, 1200, 1300  
 251-91C  
 14900 & 14920  
 SW 133RD AVE.



PROPOSED SUBDIVISION



SW 132ND TER

SW 133RD AVE

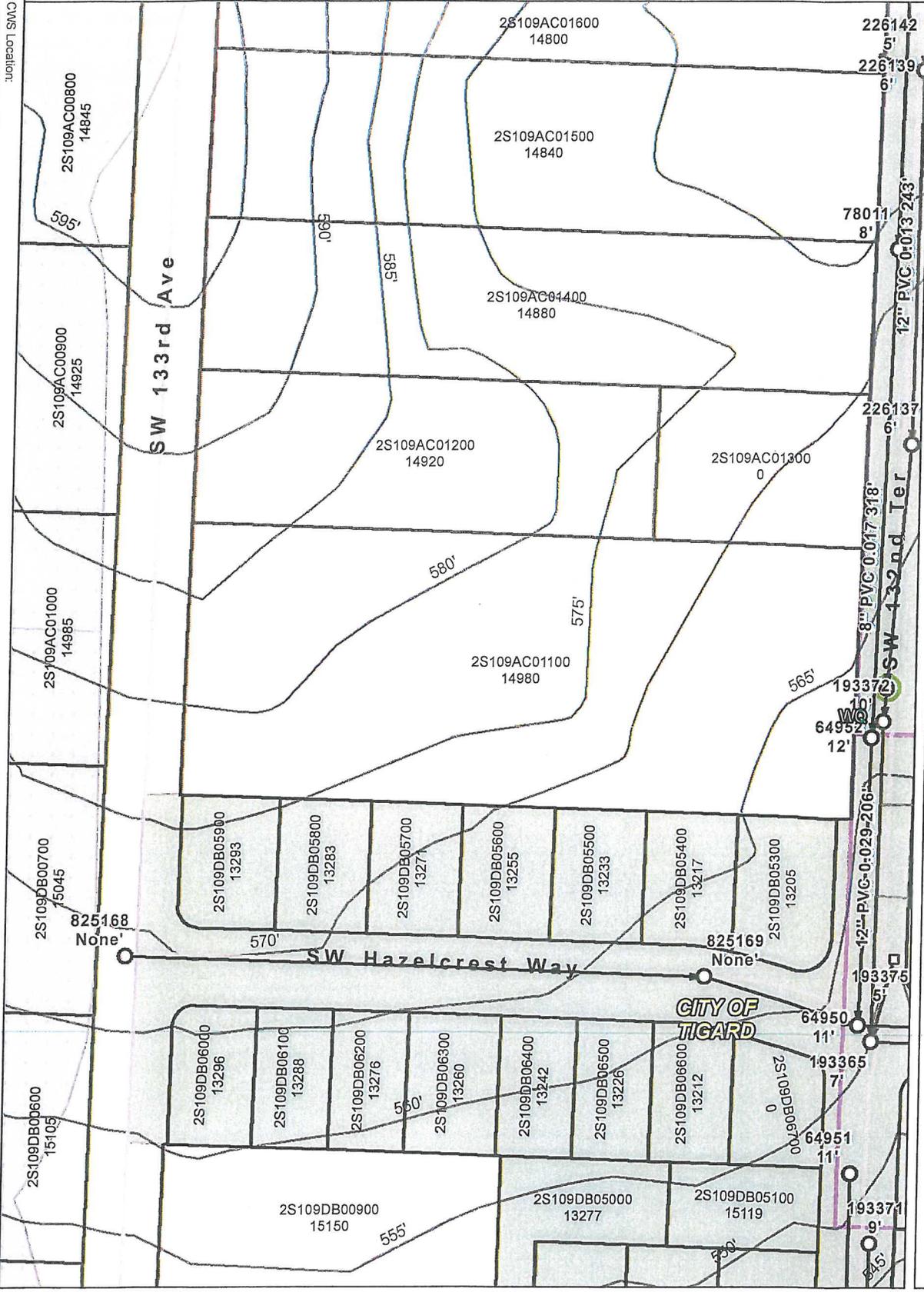
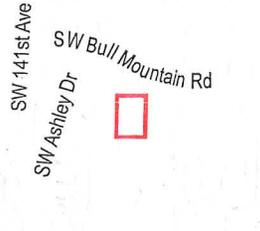
SW HAZELCREST WAY

SEQUOIA HEIGHTS

2790

# Development Services - Front Counter

CMS Location:



- Legend**
- City/Cnty/ODOT Sani Manhole
  - City/Cnty/ODOT Sani Main
  - City/Cnty/ODOT Storm Cleanout
  - City/County/ODOT Storm Inlets
  - City/County/ODOT Storm Manhole
  - Storm Laterals (Labels)
  - City/Cnty/ODOT Storm Lateral
  - City/County/ODOT Closed Conv.
  - Water Quality Manhole
  - Street Centerline
  - Contour Line
  - Possible Stream Buffers
  - Development Project Boundary
  - Clean Water Services
  - Washington County

**Disclaimer:** This product and its associated data is for informational purposes only and was derived from several databases. It was not prepared for, and is not suitable for legal, engineering or surveying purposes. Users of this information should review or consult the primary data and information sources to ensure accuracy. Clean Water Services cannot accept any responsibility for errors, omissions or positional accuracy. There are no warranties for this product. Mainline and service lateral locations are depicted using best available information but must be field verified and located before digging. Service laterals are marked in the fields as "Unlocatable underground facilities" as defined in OAR 952-001-0010 (20). Easement data is not currently completed District-wide and should be used for general reference only. All sanitary or storm sewer data, with the exception of sanitary lines 24" and larger located within the city limits of Beaverton, Cornelius, Forest Grove, Hillsboro, Lake Oswego, Portland, Sherwood, Tigard or Tualatin, need to be verified by contacting the individual city. Notification of any errors would be appreciated. Clean Water Services, Development Services, 2550 SW Hillsboro Highway, Hillsboro OR 97123, (503) 681-5100.



N

1" = 95'

Clean Water Services  
www.cleanwaterservices.org

# Storm Water System



September 28, 2015

- |                     |                          |                   |                         |                          |
|---------------------|--------------------------|-------------------|-------------------------|--------------------------|
| Storm Water Manhole | <b>Storm Water Nodes</b> | Storm Flow Arrows | <b>Storm Water Main</b> | Storm Water Laterals     |
| Storm Water Vault   | Tee                      | In Service        | In Service              | Storm Water Quality Pipe |
| Storm Water Inlet   | Stub                     | Out of Service    | Out of Service          | Storm Water Culvert      |
|                     | Storm Water Outfall      | Abandoned         | Abandoned               |                          |

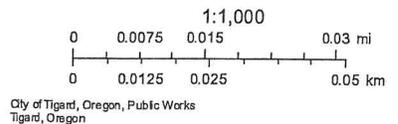
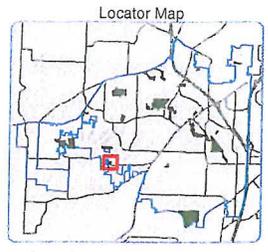


Exhibit G



- Legend**
- Park Amenities**
- A Parking Lot
  - 3 Picnic Shelter
  - Public Restroom
  - Drinking Fountain
  - 4 Boat Ramp
  - Playground
  - Butterfly Garden
  - Dog Park
  - Gazebo
  - Historic Site
- Trails**
- Concrete
  - Asphalt
  - Soft Surface

Scale  
0 40 80 Feet



Map Created: 9/27/2015

"A Place to Call Home"  
 City of Tigard  
 13125 SW Hall Blvd  
 Tigard, OR 97223  
 503 639-4171  
 www.tigard-or.gov



Exhibit H

THIS SECTION IS TO BE COMPLETED BY WASHINGTON COUNTY ASSESSOR'S OFFICE

CERTIFICATION OF PROPERTY OWNERSHIP  
(Double Majority Method)

I hereby certify that the attached petition for annexation of the territory described therein to the City of Tigard contains the names of the owners' of a majority of the land area of the territory to be annexed, as shown on the last available complete assessment role.

NAME: TED FOSTER

TITLE: GIS TECH

DEPARTMENT: CARTOGRAPHY

COUNTY OF: WASHINGTON

DATE: 10/7/15

ANNEXATION CERTIFIED

BY VF

OCT 07 2015

WASHINGTON COUNTY A & T  
CARTOGRAPHY

\* indicates that "Owner" means the owner of the title to real property or the contract purchaser of real property.

THIS SECTION IS TO BE COMPLETED BY WASHINGTON COUNTY ELECTIONS OFFICE

CERTIFICATION OF REGISTERED VOTERS

I hereby certify that the attached petition for annexation of territory described herein to the City of Tigard contains the names of at least a majority of the electors registered in the territory to be annexed.

NAME: \_\_\_\_\_

TITLE: \_\_\_\_\_

DEPARTMENT: \_\_\_\_\_

COUNTY OF: \_\_\_\_\_

DATE: \_\_\_\_\_



15  
6  
11  
M

Washington County, Oregon 2004-064783  
06/08/2004 04:55:11 PM  
D-DW Cnt=1 Btm=19 K BARNEY  
\$15.00 \$6.00 \$11.00 - Total = \$32.00



00597050200400647830030038

I, Jerry Hanson, Director of Assessment and Taxation and Ex-Officio County Clerk for Washington County, Oregon, do hereby certify that the within instrument of writing was received and recorded in the book of records of said county.

*Jerry Hanson*

Jerry R. Hanson, Director of Assessment and Taxation,  
Ex-Officio County Clerk



AFTER RECORDING, RETURN TO:  
Nancy L. Cowgill  
Stoel Rives LLP  
900 SW Fifth Avenue, Suite 2600  
Portland, OR 97204

Until a change is requested, send all  
tax statements to:

No Change

### STATUTORY WARRANTY DEED

GRANTOR: RICHARD A. FRANZKE

GRANTEE: RICHARD A. FRANZKE, TRUSTEE OF THE RICHARD A.  
FRANZKE, TRUST



EXHIBIT A

Legal Description

A parcel of land in the Southeast one-quarter of Section 9, Township 2 South, Range 1 West, Willamette Meridian, Washington County, Oregon, being a portion of that particular tract of land described in the conveyance to George E. and Helen M. Batterson recorded in Book 341, page 281, Washington County Deed Records, and being more particularly described as follows:

Beginning at a point on the Easterly right of way line of S.W. 133<sup>rd</sup> Avenue, that is North 0° 37' West, along said Easterly right of way line, a distance of 421.84 feet from the Southwest corner of the above said Batterson tract, the said point of beginning also being the Northwest corner of that certain tract of land described in the conveyance to Melvin L. and Helena J. Thurston by deed recorded in Book 627, page 484, Washington County Deed Records; thence North 0° 37' West continuing along said Easterly right of way, a distance of 175.00 feet to a point; thence North 89° 52' East, parallel to the Southerly line of the said Batterson tract, a distance of 440.01 feet to a point on the Easterly line of the said Batterson tract; thence South 0° 52' East along the said Easterly line, a distance of 175.00 feet to the Northeast corner of the said Thurston tract; thence South 89° 52' West along the Northerly line of the said Thurston tract, a distance of 440.76 feet to the point of beginning.

APR 10 2000

15  
6

WARRANTY DEED

DAVID L. RIRIE and MARY LOUISE RIRIE  
GRANTOR NAME

Trustees  
GRANTEE NAME

14920 SW 133rd Avenue  
Tigard, Oregon 97224

Grantee's Address, Zip

After recording return to: ELP  
DAVID L. RIRIE and MARY LOUISE RIRIE  
14920 SW 133rd Avenue  
Tigard, Oregon 97224

Name, Address, Zip

STATE OF OREGON } 85  
County of Washington }

I, Jerry R. [Signature], Director of Assessment and Taxation and Washington County Clerk for said county do hereby certify that the within and foregoing instrument was received and reported to book or records of said county.



Doc : 2000028586  
Rect: 252433 32.00  
04/10/2000 01:17:57pm

Until a change is requested, all tax statements shall be sent to the following address:  
NO CHANGE

Name, Address, Zip

SPACE ABOVE FOR RECORDER'S USE

WARRANTY DEED-STATUTORY FORM

DAVID L. RIRIE and MARY LOUISE RIRIE, Grantor(s), convey(s) and warrants to DAVID L. RIRIE and MARY LOUISE RIRIE, Trustees, or their successors in trust, under the RIRIE LIVING TRUST, dated March 28, 2000, and any amendments thereto, a revocable living trust, Grantee(s), the following described real property situated in Washington County, Oregon, to wit:

SEE EXHIBIT "A" ATTACHED HERETO BY THIS REFERENCE AND INCORPORATED HEREIN.

The said property is free from encumbrances and other interests except encumbrances of record arising by, through or under Grantors and any exceptions shown on Deed recorded in Book No. 1046, Page 242, and Instrument No. 98044672, Washington County, Oregon.

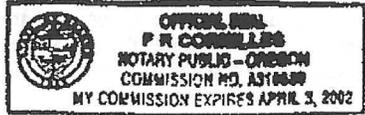
The true consideration paid for this conveyance is \$0.00.

Dated this 28 day of March, 2000.

THIS INSTRUMENT WILL NOT ALLOW USE OF THE PROPERTY DESCRIBED IN THIS INSTRUMENT IN VIOLATION OF APPLICABLE LAND USE LAWS AND REGULATIONS. BEFORE SIGNING OR ACCEPTING THIS INSTRUMENT, THE PERSON ACQUIRING FEE TITLE TO THE PROPERTY SHOULD CHECK WITH THE APPROPRIATE CITY OR COUNTY PLANNING DEPARTMENT TO VERIFY APPROVED USES AND TO DETERMINE ANY LIMITS ON LAWSUITS AGAINST FARMING OR FOREST PRACTICES AS DEFINED IN ORS 30 930.

[Signature]  
DAVID L. RIRIE  
[Signature]  
MARY LOUISE RIRIE

STATE OF OREGON, COUNTY OF WASHINGTON  
This instrument was acknowledged before me on March 28, 2000,  
by DAVID L. RIRIE and MARY LOUISE RIRIE  
[Signature]  
Notary Public for Oregon My commission expires: \_\_\_\_\_



1-3

**PARCEL IV:**

A tract of land situated in a portion of Lots 8 and 10, FREWING ORCHARD TRACTS, in Section 2, Township 2 South, Range 1 West, of the Willamette Meridian, in the City of Tigard, County of Washington and State of Oregon, described as follows:

Beginning at a 1/2 inch iron pipe on the center line of S.W. Garrett Street, marking the Northeast corner of said Lot 10; thence North 24°30' West 110.0 feet to the Northeast corner of the Page tract described in Deed recorded October 26, 1961 in Book 452, page 40, Deed Records; thence South 46°15'48" West 21.25 feet to a point on the Westerly right of way S.W. Garrett Street, being the true point of beginning; thence South 46°15'48" West 221.33 feet along the Northwest line of said Page Tract; thence South 25°10'12" West 73.09 feet along the Westerly line of said Page Tract; thence South 23°38'40" West 42.20 feet along the Westerly line of said Page tract; thence North 62°48'20" East 296.44 feet to the Westerly line of S.W. Garrett Street; thence North 24°30' West 134.44 feet to the true point of beginning.

EXCEPTING THEREFROM that portion of the within described property previously conveyed by grantor to grantee by Warranty Deed dated May 15, 1972 and recorded May 26, 1972 in Book 869, page 235, Deed Records of Washington County, Fee Number 9027.

TOGETHER WITH a non-exclusive easement for ingress and egress, over the following described property:

Part of Lots 8 and 10, FREWING ORCHARD TRACTS, in Section 2, Township 2 South, Range 1 West, of the Willamette Meridian, in the County of Washington and State of Oregon, described as follows:

Beginning at the Southeasterly corner of said Lot 10 in the center line of SW Garrett Street and running thence North 24°30' West 134.00 feet along the Easterly line of S.W. Garrett Street from the Easterly line of said Lot 10 to a point; thence South 63°48' West 195.00 feet along a line parallel to the Southerly line of Lot 10 to an iron pipe; thence North 24°30' West 73.00 feet to an iron pipe at the true point of beginning of said easement; thence continuing North 24°30' West 20.00 feet to an iron pipe; thence North 63°48' East 175.00 feet, more or less, to the Westerly line of SW Garrett Street; thence South 24°30' East 20.00 feet along the Westerly line of S.W. Garrett Street to a point; thence South 63°78' West 175.00 feet, more or less, to an iron pipe at the true point of beginning.



**TO THE COUNCIL OF THE CITY OF TIGARD, OREGON:**

We, the undersigned owner(s) of the property described below and/or elector(s) residing at the referenced location(s), hereby petition for, and give consent to, Annexation of said property to the City of Tigard. We understand that the City will review this request in accordance with ORS Chapter 222 and applicable regional and local policies prior to approving or denying the request for Annexation.

**LEGEND:**

PO - Property Owner

RV - Registered Voter

OV - Property Owner & Registered Voter

Rancho Mirage CA -  
92270

PAGE 1 OF 1

SIGNATURE	PRINTED NAME	I AM A			ADDRESS	PROPERTY DESCRIPTION				DATE
		PO	RV	OV		Township/ Section	Map Number	Tax Lot Number	Precinct Number	
<i>[Signature]</i>	Mark B. Franke	X			126 LaCerna Dr.	231	09AC	1100		10/7/15
	Jean M. Foster					231	09AC	1100		
	David L. Knie					231	09AC	1200		
	David L. Knie					231	09AC	1300		
	Mary Louise Knie					231	09AC	1300		
	Mary Louise Knie					231	09AC	1300		





**CERTIFICATION OF REGISTERED VOTERS  
FOR ANNEXATION PURPOSES\***

I hereby certify that the attached petition for the annexation of the territory listed herein to the City of Tigard contains, as of the date listed, the following information:

- 2 Number of signatures of individuals on petition.
- 2 Number of active **registered voters** within the territory to be annexed.
- 1 Number of **VALID signatures of active registered voters** within the territory to be annexed, on the petition.

Tax lot number(s): 2S109AC01100 14980 SW 133<sup>rd</sup> Ave

DIVISION: ELECTIONS  
 COUNTY: WASHINGTON  
 DATE: October 16, 2015  
 NAME: Angie Muller  
 TITLE: Administrative Specialist II



Angie Muller  
 (Signature of Election Official)

\*This 'Certification of Registered Voters for Annexation Purposes' DOES NOT, in any way, make the determination if this petition meets the annexation requirements of the city/district listed.

Annexation certification sht rev4-043009



**CERTIFICATION OF REGISTERED VOTERS  
FOR ANNEXATION PURPOSES\***

I hereby certify that the attached petition for the annexation of the territory listed herein to the City of Tigard contains, as of the date listed, the following information:

- 2 Number of signatures of individuals on petition.
- 2 Number of active **registered voters** within the territory to be annexed.
- 2 Number of **VALID signatures of active registered voters** within the territory to be annexed, on the petition.

Tax lot number(s): 2S109AC01200 14920 SW 133<sup>rd</sup> Ave

DIVISION: ELECTIONS  
 COUNTY: WASHINGTON  
 DATE: October 16, 2015  
 NAME: Angie Muller  
 TITLE: Administrative Specialist II



Angie Muller  
 (Signature of Election Official)

\*This 'Certification of Registered Voters for Annexation Purposes' DOES NOT, in any way, make the determination if this petition meets the annexation requirements of the city/district listed.

Annexation certification sht rev4-043009



**CERTIFICATION OF REGISTERED VOTERS  
FOR ANNEXATION PURPOSES\***

I hereby certify that the attached petition for the annexation of the territory listed herein to the City of Tigard contains, as of the date listed, the following information:

3 Number of signatures of individuals on petition.  
0 Number of active **registered voters** within the territory to be annexed.  
0 Number of **VALID signatures of active registered voters** within the territory to be annexed, on the petition.

Tax lot number(s): 2S109AC01300 N/A  
\_\_\_\_\_  
\_\_\_\_\_

DIVISION: ELECTIONS  
COUNTY: WASHINGTON  
DATE: October 16, 2015  
NAME: Angie Muller  
TITLE: Administrative Specialist II



Angie Muller  
(Signature of Election Official)

\*This 'Certification of Registered Voters for Annexation Purposes' DOES NOT, in any way, make the determination if this petition meets the annexation requirements of the city/district listed.

Annexation certification sht rev4-043009